

HISTORIC DISTRICT COMMISSION MEETING AGENDA



Monday, July 13, 2026 – 6:00 P.M.
Council Chambers – City Hall
300 West Crowell Street - Monroe, NC

- Item 1.** Call to Order – Roll Call
- Item 2.** Pledge of Allegiance and Moment of Silence
- Item 3.** Conflicts of Interest
- Item 4.** Approval of Minutes – June 8, 2026
- Item 5.** Quasi-Judicial Statement
- Item 6.** **PLHR-2026-00195** - The Historic District Commission is requested to consider a Certificate of Appropriateness from Alvin Thomas requesting approval for previously replacing two wood windows with vinyl windows on the front dormer at 403 E. Houston Street. (Parcel ID # 09-231-136)
- Item 7.** **PLHR-2026-00198** - The Historic District Commission is requested to consider a Certificate of Appropriateness request from Anna Underwood to remove the two existing chimneys and add an iron handrail to the steps at the rear of the home at 109 N. College Street. Additionally, the applicant is requesting approval for previously painting a historically unpainted masonry surface of the home. (Parcel ID # 09-232-198A)
- Item 8.** Next Meeting: Monday, August 10, 2026 at 6:00pm
- Item 9.** Adjournment

ATTENTION BOARD MEMBERS:

Please contact Kimberly Davis at 704-282-4527 to confirm your attendance.

cc: Richard Long, Atty.
 Jeff Wells, Asst. City Manager

Lisa Stiwwinter, Dir. of Planning & Dev.
Planning Staff

HISTORIC DISTRICT COMMISSION MINUTES

MONDAY, JUNE 8, 2026 AT 6:00 PM

COUNCIL CHAMBERS - CITY HALL

300 West Crowell Street, Monroe, North Carolina

Sent to HR: 06/09/26

Item 1: Call to Order – Roll Call

Archie Morgan, Chair, called the meeting to order at 6:00 p.m. A quorum was present. Kimberly Davis called the roll.

Members Present: Archie Morgan (Chair); Jennifer Smith (Vice Chair); Matthew Klaren; Jennifer Loria; Natasha Higgins; William Heidtmann;

Members Absent: Allen Watson;

Staff Present: Richard Long, City Attorney; Patrick Blaszyk, Planner II; Kimberly Davis, Admin. Asst. II;

Guests: Thomas Loria; Evan Albertyn; Courtney Deiter; Ric Helton;

Item 2. Pledge of Allegiance and Moment of Silence

Item 3. Conflicts of Interest – None

Item 4. Approval of Minutes – May 11, 2026

Motion: Jennifer Smith made a motion to approve the minutes of the May 11, 2026 meeting.

Second: Jennifer Loria

Action: The motion to approve passed with the following votes:

AYES: Archie Morgan, Jennifer Smith, Matthew Klaren, Jennifer Loria, Natasha Higgins, William Heidtmann,

NAYS: None

Item 5. Quasi-Judicial Statement

Archie Morgan, Chair, said this hearing is a quasi-judicial evidentiary hearing and that means that it is like a court hearing. State law sets specific procedures and rules concerning how this board must make its decisions. These rules are different from other types of land use decisions, like rezoning cases. The Board's discretion is limited and the Board must base its decision on competent and relevant and substantial evidence into the record. Participation is limited and this meeting is of course open to the public and everyone is welcome to watch. Parties with standing have rights to participate fully and parties may present evidence, call witnesses, make legal arguments; parties are limited to the applicant, the local government and individuals who can show they will suffer special damages.

Item 6. **PLHR-2026-00162-** The Historic District Commission is requested to consider a Certificate of Appropriateness request from Brad Deiter for the following projects at 300 Maurice Street:

- **Install a new 14' x 20' wood shed in the rear yard.**
- **Install a 25' x 40' brick paver patio and construct one 16' x 20' wood pergola and one 9' x 20' wood pergola over the patio in the rear yard.**
- **Demolish an existing deck and staircase and install a 3'-5' x 5' wood staircase on the rear elevation of the home. (Parcel ID # 09-231-144)**

Patrick Blaszyk and Courtney Deiter approached the dais and were sworn in by the Chair.

Patrick Blaszyk, Planner 2, presented the following Proposed Findings:

1. The subject property located at 300 Maurice Street is owned by Brad and Courtney Deiter and is zoned RMD (Residential Medium Density). (Exhibit 1-2) Exhibit 1 is a copy of the aerial map showing the subject property highlighted in blue. The subject property is located to the west of Maurice Street and to the south of East Morrow Street. Exhibit 2 is a copy of the zoning map showing the subject property highlighted in blue and is zoned RMD (Residential Medium Density) as are the surrounding parcels.
2. The property is located in the South Monroe Historic District. (Exhibit 3) Exhibit 3 is a copy of the Historic District Map.
3. On April 13, 2026, the applicant applied for a COA to construct a new 14' x 20' shed with wood siding, wood doors, wood windows and an asphalt shingle roof in the rear yard of the home. The applicant is also requesting to demolish the existing wood deck and staircase in order to construct a new 3'-5' x 5' wood staircase on the rear elevation that leads to a proposed 25' x 40' brick patio in the rear yard of the home. The brick patio will be covered by two wood pergolas that are 16' x 20' and 9' x 20' in size. (Exhibits 4-8) Exhibit 4 is a copy of the application. Exhibit 5 is a site plan submitted by the applicant. It shows the location of the proposed shed in pink and the two different styles of the brick paver patio. The brick slabs are shown in green and the more traditional brick paver patio is shown in blue. The location of the staircase is also shown. All of the proposed structures do meet the accessory structure setback requirements. Exhibit 6 are the existing conditions. There is a view from Maurice Street where none of the proposed projects are visible. From East Morrow Avenue, the existing deck and staircase is visible so the new staircase will also be visible from that spot in the road. More pictures show where the new 14x20, 10ft tall shed will be located. No trees will need to be removed for the installation of the shed. Additional photos show the location for the new patio, pergola and staircase. These photos also show the existing deck and staircase that will be demolished for the new staircase that will lead out to the new patios that will be covered by the two wooden pergolas. Exhibit 7 are photos from the applicant on preferences for the new shed. There are two different styles so the Board can decide . The bottom example shows vertical siding, but it will be horizontal siding to match the home and the cupola will not be installed as confirmed by the applicant. The applicant has confirmed salvaged or thrift wood windows and woods doors for the

shed. Exhibit 8 are photos of what the new staircase, patios and pergolas will look like once they are constructed.

4. The proposed structure does meet the review criteria for a Certificate of Appropriateness according to Section 6.3 of the Unified Development Ordinance.
5. All adjacent property owners have been notified of the Certificate of Appropriateness request. (Exhibit 9-10) Exhibit 9 is a copy of the APO Map where the subject property has a red star. Exhibit 10 is a copy of the APO List. Twenty-six letters were mailed with no responses to those letters.

Courtney Deiter, applicant who lives at 300 Maurice Street, approached the dais to answer the Board's questions. Many of the Board members commended the applicant for the improvements done to the house. They will build the shed themselves using salvage materials, particularly for the wooden windows and wooden doors. The shed windows will match and compliment the house. The shed will be raised off the ground and not on a concrete slab. She will submit a new application for a Certificate of Appropriateness to change the back door to a Dutch door with a four-pane window configuration.

The Commission decided the style of shed to be utilized for the project will be the first shed presented that has a cupola, although the Board acknowledged a cupola will not be constructed. The Commission also created two conditions. The first condition is that wood lattice siding and/or wood windows be utilized on both sides of the shed. The second condition is that all wood windows on the shed must match.

Motion: Jennifer Loria made a motion that the Historic District Commission Find as a Fact that the proposed project, COA PLHR-2026-00162, if constructed according to the plans reviewed at this meeting is congruous with the character of the district because the standards state: the shed will be compatible with the period of the home and built with like materials; the doors and windows will be wood; no trees will need to be removed; all of the changes meet the required setbacks; the patios are period appropriate; the pergolas are constructed with wood as are the staircase; and none of the changes detract from the overall historic character of the primary building and the site. Therefore, the application is generally in harmony with the special character of the neighboring properties and the Historic District as a whole.

Second: Jennifer Smith

Action: The motion passed with the following votes:

AYES: Archie Morgan, Jennifer Smith, Matthew Klaren, Jennifer Loria, Natasha Higgins, William Heidtmann,

NAYS: None

Motion: William Heidtmann made a motion, based on the preceding Findings of Fact, that the Historic District Commission grant a Certificate of Appropriateness to regarding the proposals as shown in COA PLHR-2026-00162. Such certificate to be subject to the conditions contained in the previous motion.

Second: Archie Morgan

Action: **The motion passed with the following votes:**
 AYES: **Archie Morgan, Jennifer Smith, Matthew Klaren, Jennifer Loria,**
 Natasha Higgins, William Heidtmann,
 NAYS: **None**

Item 7. **PLHR-2026-00175 - The Historic District Commission is requested to consider a Certificate of Appropriateness from Evan Albertyn requesting approval for previously replacing the wood tongue and groove front porch decking with standard wood decking at 400 S. Church Street. The application also included the replacement of front porch railings and one column with like materials which has been approved at staff level. (Parcel ID # 09-232-014)**

Patrick Blaszyk and Evan Albertyn approached the dais and were sworn in by the Chair.

Patrick Blaszyk, Planner 2, presented the following Proposed Findings:

1. The subject property located at 400 S. Church Street is owned by Evan and Della Albertyn and is zoned RMD (Residential Medium Density). (Exhibits 1-2) Exhibit 1 is a copy of the aerial map showing the subject property highlighted in blue. The subject property is located west of South Church Street, east of South Beasley Street and south of East Morrow Street. Exhibit 2 is a copy of the zoning map showing the subject property highlighted in blue. The subject property, as are the surrounding parcels, are all zoned RMD (Residential Medium Density). To the west of the subject property, it is zoned OM (Office Medical).
2. The property is located in the South Monroe Historic District. (Exhibit 3) Exhibit 3 is a copy of the Historic District Map with the subject property highlighted in blue.
3. On May 14, 2026, the applicant applied for a COA to request approval for previously replacing the wood tongue and groove front porch decking with standard wood decking. (Exhibits 4-6) Exhibit 4 is a copy of the application. Exhibit 5 are photos of the subject property showing the original tongue-and-groove decking. Exhibit 6 are pictures of the existing deck showing the existing conditions with the new standard wood decking.
4. The proposed structure does meet the review criteria for a Certificate of Appropriateness according to Section 6.3 of the Unified Development Ordinance.
5. All adjacent property owners have been notified of the Certificate of Appropriateness request. (Exhibit 7-8) Exhibit 7 is a copy of the APO Map. Exhibit 8 is a copy of the APO List. Twelve properties were notified and two inquiries were received from the letters.

The Commission had questions for the applicant, Evan Albertyn. Mr. Albertyn stated that the standard wood decking does not currently match the previous tongue-and-groove, but once it is painted and finished then it will look similar. His wife wants to make it look as close to the original porch as possible. He said he was not trying to defy the rules, but did not realize he needed to get a COA in order to replace the porch. He stopped all repairs and complied as soon

as he found out he needed a COA. He would not want to put tongue-and-groove back onto the porch because there are issues with buckling and he can save money by using decking instead.

The Commission entered discussion. Several members were concerned that this “puts the Board at a disadvantage since the tongue-and-groove boards have already been replaced with deck boards.” Several members said it detracted from the home and the deck boards are wider than the tongue-and-groove. Other Board members said once the deck was painted then it may look comparable to the tongue-and-groove.

Motion: Jennifer Loria made a motion that the Historic District Commission Find as a Fact that the proposed project, COA PLHR-2026-00175, if constructed according to the plans reviewed at this meeting is not congruous with the character of the district because the standards state: “It is not appropriate to replace wood tongue-and-groove flooring with standard decking material. Consider compatible substitute materials only if replacement in kind is not feasible.” Therefore, the application is not generally in harmony with the special character of the neighboring properties and the Historic District as a whole.

Second: Jennifer Smith

Action: The motion to deny passed with the following votes:

AYES: Archie Morgan, Jennifer Smith, Matthew Klaren, Jennifer Loria,

NAYS: Natasha Higgins, William Heidtmann,

Motion: Jennifer Loria made a motion, based on the preceding Findings of Fact, that the Historic District Commission deny a Certificate of Appropriateness to Evan Albertyn regarding the proposals as shown in COA PLHR-2026-00175. Such certificate to be subject to the conditions contained in the previous motion.

Second: Jennifer Smith

Action: The motion to deny passed with the following votes:

AYES: Archie Morgan, Jennifer Smith, Matthew Klaren, Jennifer Loria,

NAYS: Natasha Higgins, William Heidtmann,

Item 9. Next Meeting: Monday, July 13, 2026 at 6:00pm

Jennifer Smith reminded the Board of the Tree Dedication in Memory of Anna Dowdy on June 9th at Gateway Park at 9am.

Item 10. Adjournment

Motion: Jennifer Smith made a motion to adjourn this meeting.

Second: Archie Morgan

Action: The motion to adjourn passed with the following votes:

AYES: Archie Morgan, Jennifer Smith, Matthew Klaren, Jennifer Loria, Natasha Higgins, William Heidtmann,

NAYS: None

The meeting adjourned at 7:08 pm.

Respectfully submitted,

Archie Morgan
Chairman

Kimberly Davis
Secretary to the Board

DRAFT



STAFF REPORT
PLHR-2026-00195

TO: Historic District Commission Members

DATE: July 13, 2026

FROM: Keri Mendler, Senior Planner

PREPARED BY: Patrick Blaszyk, Planner 2

SUBJECT: Certificate of Appropriateness request for 403 E. Houston Street

SUMMARY STATEMENT

The Historic District Commission is requested to consider a Certificate of Appropriateness request from Alvin Thomas. The applicant is requesting approval for previously replacing two wood windows with vinyl windows on the front dormer at 403 E. Houston Street.

SITE DATA

Type of Action: Certificate of Appropriateness
Date of Petition: 6-15-2026
Name of Petitioner: Alvin Thomas
Location: 403 E. Houston Street
Tax ID #: 09-231-136
Lot Size: 0.23 acres
Zoning Classification: RMD (Residential Medium Density)

GENERAL INFORMATION

403 E. Houston Street - G. W. Bradshaw House; ca. 1925

The 1928 City Directory indicates that this one-story frame bungalow was then the residence of G. W. Bradshaw, superintendent of the Monroe City Schools. Clad in wide German siding, the triple-pile dwelling is topped by a side-gable roof with a shed extension over the porch spanning the three-bay facade. The porch has tapered wooden posts on brick piers, and there is a central shed dormer. Windows are four over one sash, and chimneys are in interior end and exterior end locations. Decorating the roof eaves are exposed rafter ends and triangular knee braces.

RELEVANT DESIGN STANDARDS

Windows and Doors, pg. 53

1. Retain and preserve windows and doors including sidelights and transoms and their decorative and functional features that are important in defining the historic character of a district building — such as frames, sash, muntins, lintels, sills, thresholds, moldings, surrounds, hardware, and shutters — as well as their finishes.

The applicant is requesting approval for previously replacing 2 wood windows with vinyl windows on the front dormer of the home. The previous wood windows had a 4-pane and a 3-pane design. The new vinyl windows have a 2-pane window design.

The applicant has also requested an alternative window option to install 2 aluminum clad wood windows with a 2-pane design in place of the existing 2-pane vinyl windows.

2. If replacement of a deteriorated window or door feature or detail is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Match the original in design, dimension, detail, material, and texture. Consider a compatible substitute material only if replacement in kind is not feasible.

The applicant is requesting approval for previously replacing 2 wood windows with vinyl windows on the front dormer of the home. The previous wood windows had a 4-pane and a 3-pane design. The new vinyl windows each have a 2-pane window design.

The applicant has also requested an alternative window option to install 2 aluminum clad wood windows with a 2-pane design in place of the existing 2-pane vinyl windows.

3. It is not appropriate to replace deteriorated windows, doors, or shutters with stock items that do not fill the original openings or duplicate the original in size, material, and design. Two-dimensional simulations of pane subdivisions, such as snap-in muntins, are not appropriate replacements for true divided-light window panes.

The new vinyl windows match the size of the openings of the previous wood windows. The proposed aluminum clad wood windows will also match the size of the openings of the previous wood windows.

4. It is not appropriate to replace a deteriorated wood window or door feature on a primary or other highly-visible elevation with a composite substitute material.

The applicant is requesting approval for previously replacing 2 wood windows with vinyl windows on the front dormer of the home. The applicant has also requested an alternative window option to install 2 aluminum clad wood windows in place of the existing vinyl windows.

PROPOSED FINDINGS

Staff offers the following Proposed Findings:

1. The subject property located at 403 E. Houston Street is owned by Alvin Thomas and Vonquitra Bebee and is zoned RMD (Residential Medium Density). (Exhibit 1, 2)
 2. The property is located in the South Monroe Historic District. (Exhibit 3)
 3. Staff was notified on May 8, 2026 that vinyl windows had been installed in place of the previous wood windows on the front dormer of the home at 403 E. Houston Street.
 4. On June 15, 2026, the applicant submitted an application requesting approval for previously replacing the previous wood windows with vinyl windows. The applicant has also included an alternative window option to install aluminum clad wood windows in place of the existing vinyl windows with the COA request. (Exhibit 4-8)
 5. The proposed structure does meet the review criteria for a Certificate of Appropriateness according to Section 6.3 titled *Historic Districts* of the Unified Development Ordinance.
 6. All adjacent property owners have been notified of the Certificate of Appropriateness request. (Exhibit 9-10)
-

CONCLUSIONS

The proposal requesting approval for previously replacing wood windows with vinyl windows or installing new aluminum clad wood windows at 403 E. Houston Street as presented (is/is not) congruous in concept according to the *Windows and Doors* standards contained within the *Monroe Design Standards*:

Windows and Doors, pg. 53

1. Retain and preserve windows and doors including sidelights and transoms and their decorative and functional features that are important in defining the historic character of a district building — such as frames, sash, muntins, lintels, sills, thresholds, moldings, surrounds, hardware, and shutters — as well as their finishes.
2. If replacement of a deteriorated window or door feature or detail is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Match the original in design, dimension, detail, material, and texture. Consider a compatible substitute material only if replacement in kind is not feasible.
3. It is not appropriate to replace deteriorated windows, doors, or shutters with stock items that do not fill the original openings or duplicate the original in size, material, and design. Two-dimensional simulations of pane subdivisions, such as snap-in muntins, are not appropriate replacements for true divided-light window panes.

4. It is not appropriate to replace a deteriorated wood window or door feature on a primary or other highly-visible elevation with a composite substitute material.
-

THEREFORE, on the basis of all the foregoing, IT IS ORDERED that the application for a Certificate of Appropriateness be (granted/denied) subject to review and approval of all city staff and its designated departments.

Exhibits:

1. Aerial Map
2. Zoning Map
3. Historic District Map
4. Application
5. Previous Wood Windows
6. Existing Vinyl Windows
7. Dormer Window Inspiration Photos
8. Proposed Alternative Aluminum Clad Wood Windows
9. APO Map
10. APO List

Prepared by: PB 6-17-2026



Ortho Map

Case #: PLHR-2026-00195

403 E. Houston Street

Legend

- Centerlines
- Parcels
- Subject Property

Existing: RMD
(Residential Medium Density)

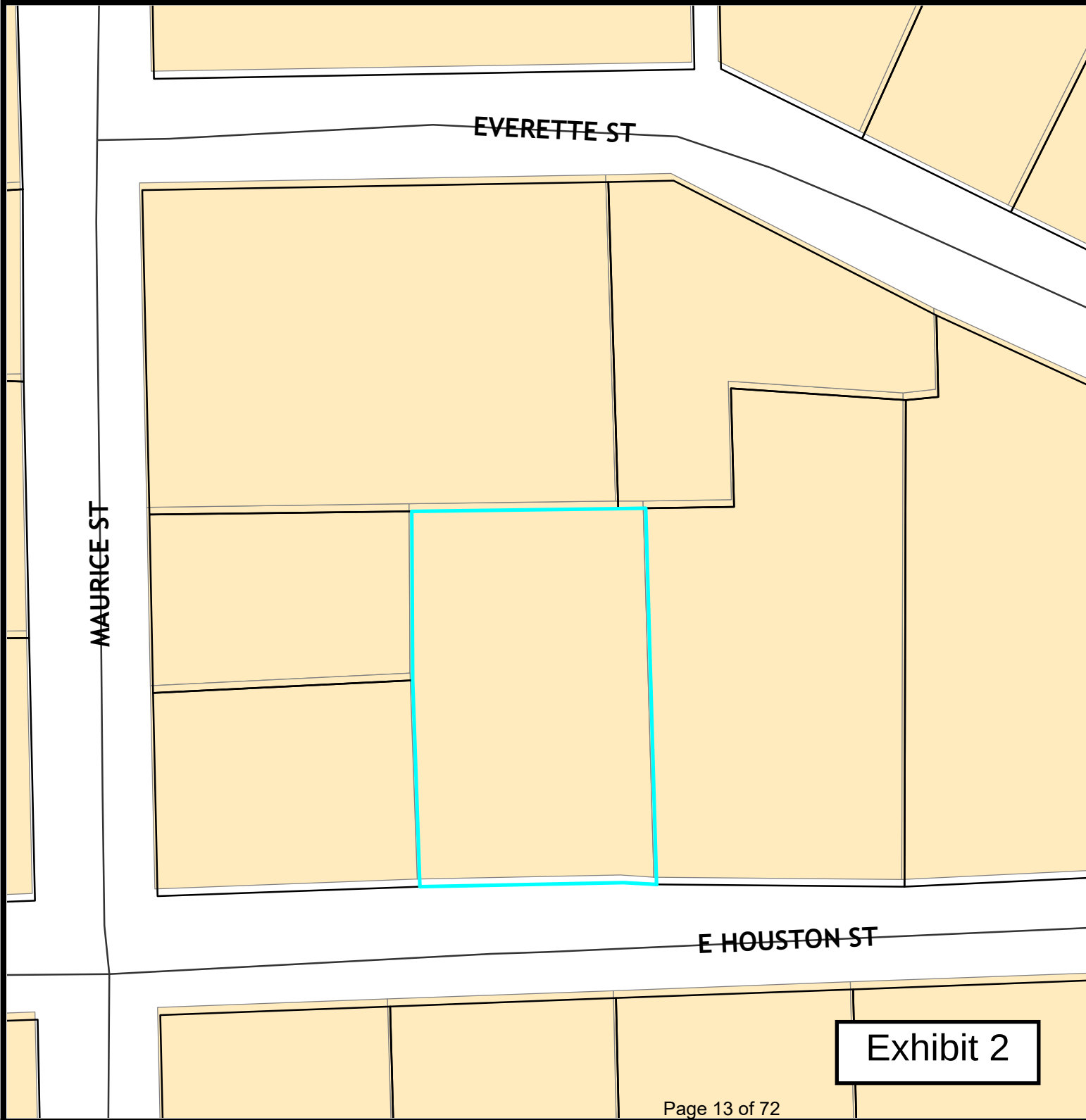
Owner: Alvin Thomas &
Vonquitra Bebee

Acres: 0.23



0 40 80 Feet

Exhibit 1



Zoning Map

Case #: PLHR-2026-00195

403 E. Houston Street

Legend

- Centerlines
- Parcels
- RMD
- Subject Property

Existing: RMD
(Residential Medium Density)

Owner: Alvin Thomas &
Vonquitra Bebee

Acres: 0.23

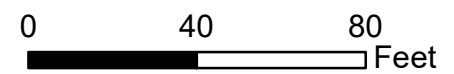
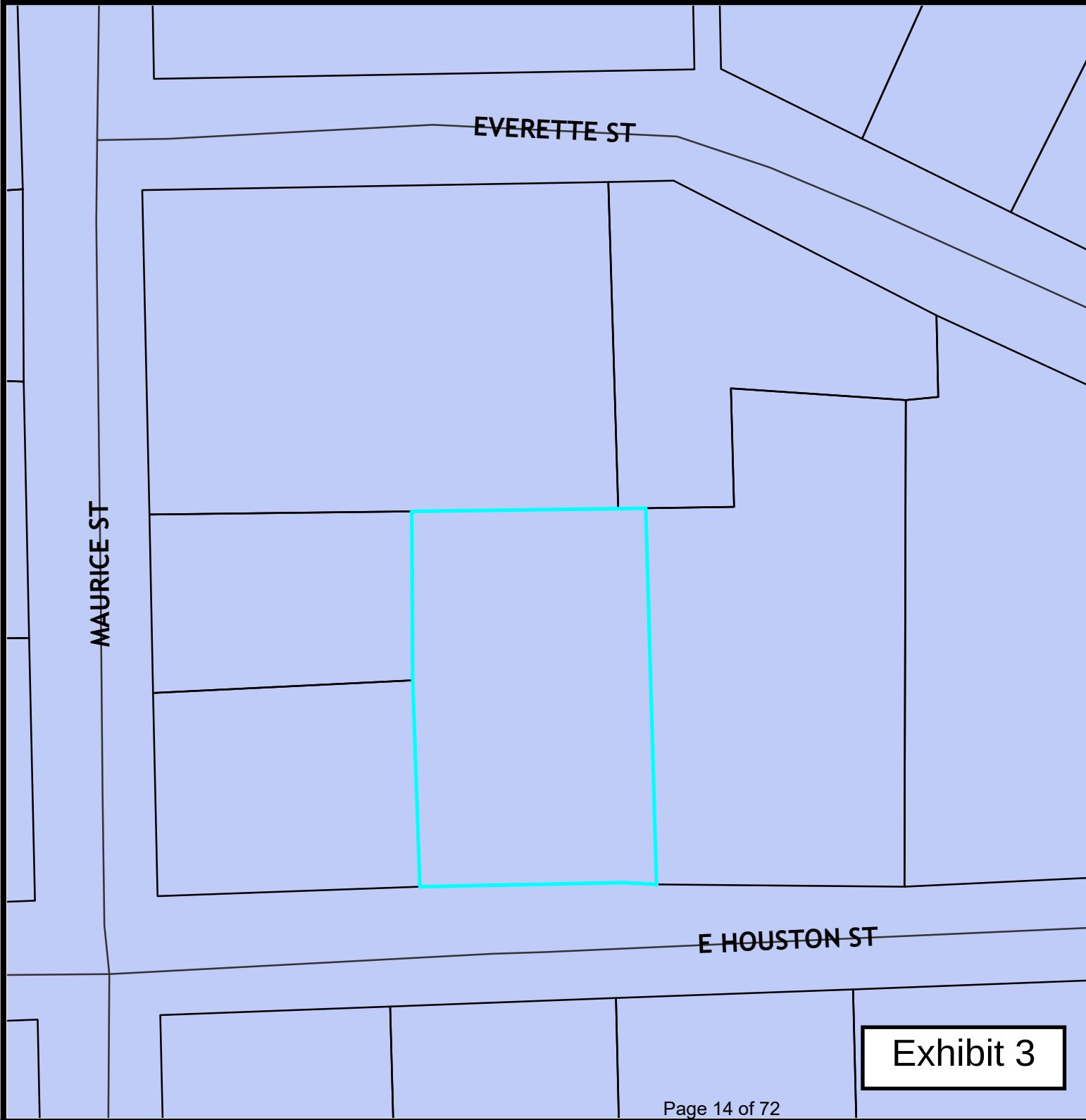


Exhibit 2



Historic District Map

Case #: PLHR-2026-00195

403 E. Houston Street

Legend

- Centerlines
- Parcels
- Historic District
- Subject Property

Existing: RMD
(Residential Medium Density)

Owner: Alvin Thomas &
Vonquitra Bebee

Acres: 0.23

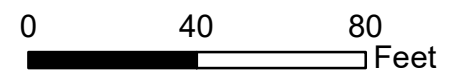


Exhibit 3



HISTORIC DISTRICT CERTIFICATE OF APPROPRIATENESS APPLICATION

Applicant's Name: Alvin Thomas

Applicant's Mailing Address: 403 E Houston St
Monroe N.C.

Applicant's Phone: [REDACTED]

Applicant's Email: [REDACTED]

Property Owner Name: Alvin Thomas

Property Owner Mailing Address: ~~5120 P. same~~
8120 Early Bird way mint Hill N.C.

FOR STAFF USE ONLY

Project Number _____

Date Received _____

Approved _____ Denied _____

Administrative Review _____

Commission Review _____

Applicant's Relationship to the Property Owner (Check the one that applies):

- ☒ Owner
- ☐ Legal Representative of the Owner (must attach Affidavit of owner's permission for this action)
- ☐ Developer (must attach Affidavit of owner's permission for this action)
- ☐ Other, specify (must attach Affidavit of owner's permission for this action)
- _____

Property Address: _____ Tax ID Number: _____

The following Certificate of Appropriateness is requested for (please provide a brief description of the proposed project, attached additional sheets if necessary): _____

Respectfully submit, attached letter for replacement
of dormer windows, we replace the mismatch windows
3 pane + 4 pane ^{wood} windows with single pane ^{vinyl} windows

Required materials for all applications:

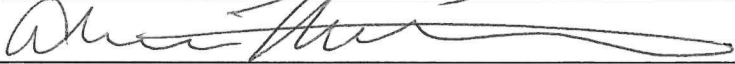
- Completed application form. Describe clearly and in detail the nature of the proposed project. Attach additional sheets if necessary.
- Photographs of site and existing conditions, as well as any proposed materials.
- Site plan showing property lines, existing and proposed changes

Incomplete applications will not be processed and will not be accepted after the 30-day deadline.

If your project is required to be heard by the commission, you or a representative will need to attend the meeting. If you are signing on behalf of a business (such as an LLC), you must include your title with the company

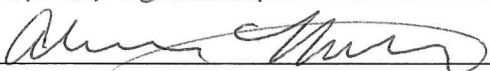
By signing and submitting this document, I agree that all signatures where required may be Electronically Signed by either party pursuant to NCGS 66-315(b).

Applicant (printed): Alvin Thomas

Applicant (signed): 

Date: 6/15/24

Owner (printed): Alvin Thomas

Owner (signed): 

Date: _____

June 15, 2026

Monroe Historic Preservation Commission

Re: Window Replacement at:

 403
43 E Houston St., Monroe, NC

Dear Members of the Historic Preservation Commission,

We respectfully submit this letter to explain the replacement of the windows at our home.

The windows that were removed were not original to the house. They were mismatched in style and condition, and many had significant rot, water intrusion, and leakage. Due to their deteriorated condition, replacement was necessary.

Before selecting replacement windows, we researched the historic character of the home by reviewing historic photographs of the property and examining similar homes within the neighborhood. We also focused on ensuring that the dormer windows reflected the appearance, proportions, and design elements shown in historic photographs and found on comparable homes in the district.

We considered a variety of window options and selected windows that best balanced historical appearance, durability, low maintenance, and energy efficiency. Our goal was to preserve the character of the home while improving its long-term sustainability, comfort, and weather resistance.

Attached are photographs of the historic images reviewed, comparable homes in the neighborhood, the deteriorated windows that were removed, and the replacement windows that were installed. These materials demonstrate the research and care that went into our decision-making process.

Our intent was not to alter the historic character of the property, but to replace deteriorated, non-original windows with windows that more closely reflect the home's historic appearance while providing modern performance benefits.

We appreciate your consideration and remain committed to the preservation and stewardship of this historic property.

Respectfully,

Alvin Thomas

A handwritten signature in dark ink, appearing to read 'Alvin Thomas', written over a horizontal line.

Owner



Previous Wood Windows

Exhibit 5



Existing Vinyl Windows

Exhibit 6



409 East Houston Street



404 South Church Street



Crestline® Elite 24" x 36" Double-Hung Window White Aluminum Clad Pine Interior with Nailing Flange

Model Number: 4000221_DH24x36_Pine_ELITEWH_ZO_E5

EVERYDAY LOW PRICE

\$545.09

11% REBATE* Good Through 6/21/26

\$59.96

VALUE
AFTER
REBATE*

\$**485¹³** each

You Save \$59.96 After Mail-In Rebate*

SELECT STORE & BUY



Rebate is not an instant price reduction on the advertised items at the point of original purchase. Rebate is a mail-in rebate issued as a Rebate Credit Check that is a discount on future in-store purchases only and not purchases on MENARDS.COM®. "Value After Rebate" is the price or sale price minus the future rebate discounts. Valid on merchandise; excludes purchase of gift cards, rentals, service plans, delivery charges and processing fees. See bottom of page for details.

- Zo-E 5 glass is made up of 2 panes of 3/4" thick glass along with a triple layer of Low-E coatings for optimum energy efficiency
- High visibility screen with matching color finish frame included for great fresh air circulation
- Steel-reinforced meeting rail between the sashes adds strength and prevents bowing

[View More Information >](#)

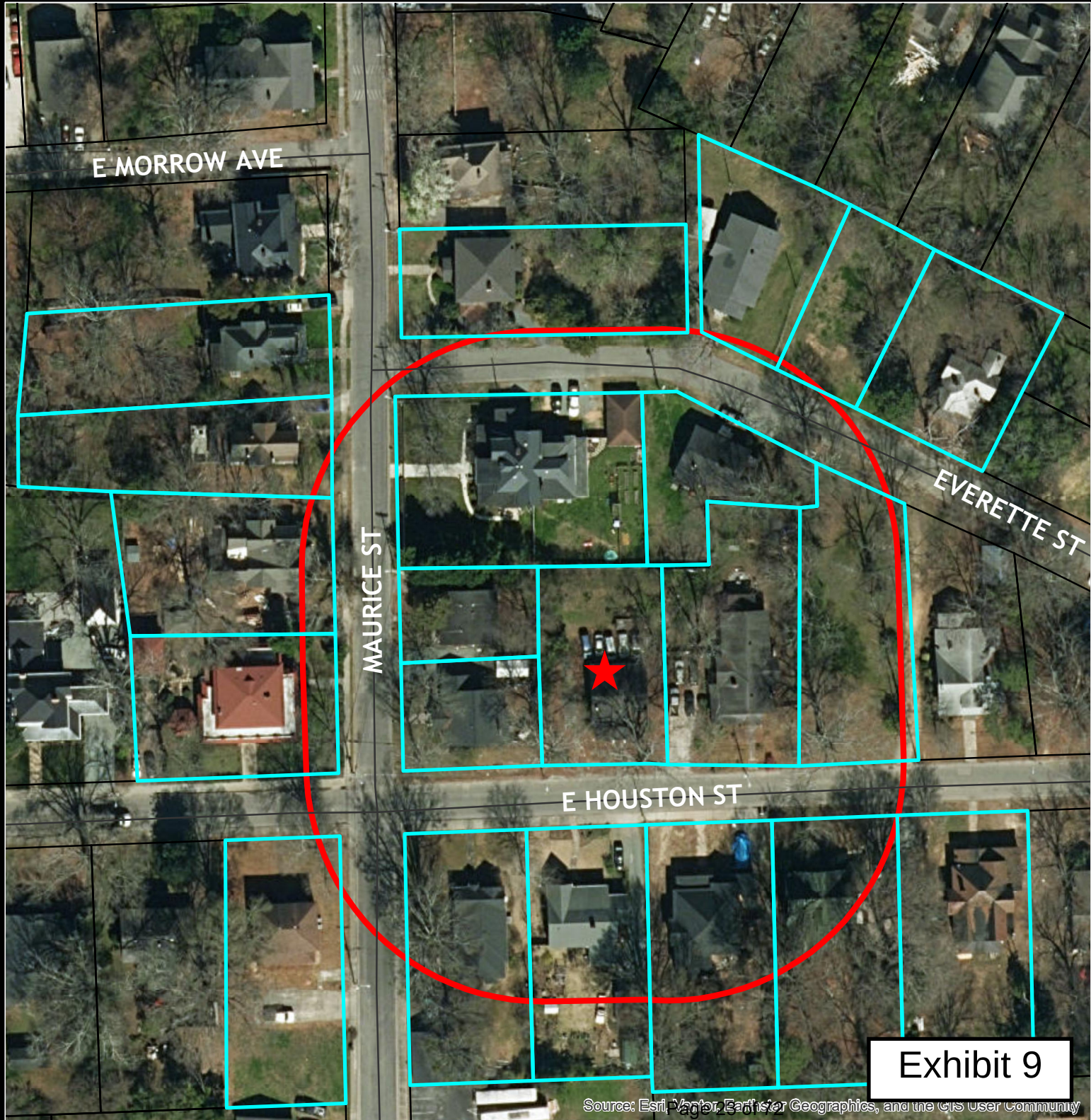
Finish: White Aluminum



Bring Your Project to Life with Menards® Design & Buy™ ^

Alternative Windows

Exhibit 8



PLHR-2026-00195

 Centerlines
 150-Foot Buffer
 Parcels
 Notified Properties
 Subject Property

21 Parcels Notified



Exhibit 9

ACCTNO	CURR_NAME1	CURR_NAME2	CURR_ADDR1	CURR_CITY	CURR_STATE	CURR_ZIPCODE
09231170	MCNEELY JAMES ADRIAN	MCNEELY REBECCA ANN	405 EVERETTE ST	MONROE	NC	28112
09231140	WM HOMES LLC		406 EVERETTE ST	MONROE	NC	28112
09231132	RIVADINEIRA RAMIRO A		306 MAURICE ST	MONROE	NC	28112
09231106	STARR TIFFINY AMBER LYNN		408 E HOUSTON ST	MONROE	NC	28112
09231109	BENNETT LARRY DARNELL	BENNETT CATHERINE GADDY	404 E HOUSTON ST	MONROE	NC	281125634
09231135	FROST REBECCA G		315 S MAURICE ST	MONROE	NC	28112
09231136	THOMAS ALVIN E	BEBEE VONQUITRA	8120 EARLY BIRD WAY	CHARLOTTE	NC	28227
09231107	7 KEYS LLC		3602 MCPHERSON ST	WAXHAW	NC	28173
09231171	Y&Z HOMEBUYERS LLC		1404 MCDONALD ST	MONROE	NC	28110
09231141	LORIA THOMAS MICHAEL	LORIA JENNIFER RYAN	305 S MAURICE ST	MONROE	NC	28112
09231138A	WALTERS JULIA	WALTERS KEITH	405 E HOUSTON ST	MONROE	NC	28112
09231110	ELIZABETH MISSIONARY BAPTIST CHURCH		503 MAURICE ST	MONROE	NC	28112
09231134	WILSON SCOTT D	WILSON ANNA Z	3809 BOUNTY CT	MATTHEWS	NC	28105
09231169	HEIDTMANN WILLIAM P	SULLIVAN EMMA J	211 MAURICE ST	MONROE	NC	28112
09231137	WALTERS JOSEPH KEITH	WALTERS JULIA T	405 E HOUSTON ST	MONROE	NC	28112
09231142	HAILEY KATRINA S		304 MAURICE ST	MONROE	NC	28112
09231105	WIGGINS CHRISTIAN STEPHEN		408 W ROOSEVELT BLVD	MONROE	NC	28110
09231108	BENNETT LARRY D	BENNETT CATHERINE G	404 HOUSTON ST	MONROE	NC	28112
09231133	COY ALEJANDRO ROBERTO	COY SHIRELLE KAREN	323 E HOUSTON STREET	MONROE	NC	28112
09231172	RANGEL ELVIA	BANDA RODOLFO A GONZALEZ	409 EVERETTE ST	MONROE	NC	28112
09231143	FETLALI PROPERTIES LLC		13601 CAPWORTH LN	CHARLOTTE	NC	28273
09231138	BRANTLEY BRAD	BRANTLEY PAMELA M	409 E HOUSTON ST	MONROE	NC	28112

Exhibit 10



STAFF REPORT
PLHR-2026-00198

TO: Historic District Commission Members

DATE: July 13, 2026

FROM: Keri Mendler, Senior Planner

PREPARED BY: Megan Brightharp, Planner

SUBJECT: Certificate of Appropriateness request at 109 N. College Street.

SUMMARY STATEMENT

The Historic District Commission is requested to consider a Certificate of Appropriateness request from Anna Underwood to remove the two existing chimneys and add an iron handrail to the steps at the rear of the home at 109 N. College Street. Additionally, the applicant is requesting approval for previously painting a historically unpainted masonry surface of the home.

The applicant has also requested to add gutters and replace the existing asphalt shingles with like materials which has been approved at staff level.

SITE DATA

Type of Action:	Certificate of Appropriateness
Date of Petition:	6/16/2026
Name of Petitioner:	Anna Underwood
Location:	109 N. College Street
Tax ID #:	09-232-198A
Lot Size:	0.14 acres
Zoning Classification:	RMD (Residential Medium Density)

GENERAL INFORMATION

109 N. College Street - ca. 1930

About 1930 this hipped-roofed, one-story frame craftsman style bungalow was built. Running along the front and part of the north sides of the house is an engaged porch with square-in-section columns on low brick piers. The A hipped dormer with louvered vents is centered in the front of

roof, and there are chimneys with corbelled caps on either side of the roof. Window sash are two over two.

RELEVANT DESIGN STANDARDS

Masonry, pg. 44

1. Retain and preserve functional and decorative masonry features that are important in defining the overall historic character of a district building and site — such as walls, foundations, chimneys, and piers — as well as their decorative details including bonding patterns, tooling, coatings, and colors.

The applicant is requesting to remove the two existing chimneys from the roof of the home.

2. If a masonry feature is completely missing, replace it with a new feature based on accurate documentation of the original, if the feature to be replaced co-existed with the features currently on the building. Or, replace it with a new design that is compatible in scale, size, material, and color with the district building.

The applicant is requesting to remove the two existing chimneys from the roof of the home.

3. It is not appropriate to paint masonry surfaces that were not historically painted.

The brick was not historically painted. The applicant is requesting approval for previously painting a historically unpainted brick surface. All of the brick surfaces of the home have been painted white.

Roofs, pg. 55

1. Retain and preserve the shape and materials of roofs and their decorative and functional features that are important in defining the historic character of a district building — including dormers, chimneys, turrets, spires, cupolas, balustrades, and shingles.

The applicant is requesting to remove the two existing chimneys from the roof of the home.

Accessibility, Health & Safety Considerations, pg. 61

1. If needed, introduce new or additional means of access that are reversible and that do not compromise the original design or materials of a historic entrance or porch.

The applicant is requesting to add iron handrails to the existing steps at the rear of the home.

PROPOSED FINDINGS

Staff offers the following Proposed Findings:

1. The subject property located at 109 N. College Street is owned by Prime Property Partners, LLC and is zoned RMD (Residential Medium Density). (Exhibit 1-2)
2. The property is located in the South Monroe Historic District. (Exhibit 3)

3. On June 16, 2026, the applicant applied for a COA to remove the two existing chimneys from the roof of the home and add an iron handrail to the steps at the rear of the home at 109 N. College Street. Additionally, the applicant is requesting approval for previously painting a historically unpainted masonry surface of the home. (Exhibits 4-7)
4. The proposed structure does meet the review criteria for a Certificate of Appropriateness according to Section 6.3 of the Unified Development Ordinance.
5. All adjacent property owners have been notified of the Certificate of Appropriateness request. (Exhibits 8-9)

CONCLUSIONS

The proposal to remove the two existing chimneys, add an iron hand rail to the steps at the rear of the home, and approval for previously painting a historically unpainted masonry surface at 109 N. College Street as presented (is/is not) congruous in concept according to the *Masonry, Roofs and Accessibility, Health & Safety Considerations* standards of the *South Monroe Historic District Design Standards*:

Masonry, pg. 45

1. Retain and preserve functional and decorative masonry features that are important in defining the overall historic character of a district building and site — such as walls, foundations, chimneys, and piers — as well as their decorative details including bonding patterns, tooling, coatings, and colors.
2. If a masonry feature is completely missing, replace it with a new feature based on accurate documentation of the original, if the feature to be replaced co-existed with the features currently on the building. Or, replace it with a new design that is compatible in scale, size, material, and color with the district building.
3. It is not appropriate to paint masonry surfaces that were not historically painted.

Roofs, pg. 55

1. Retain and preserve the shape and materials of roofs and their decorative and functional features that are important in defining the historic character of a district building — including dormers, chimneys, turrets, spires, cupolas, balustrades, and shingles.

Accessibility, Health & Safety Considerations, pg. 61

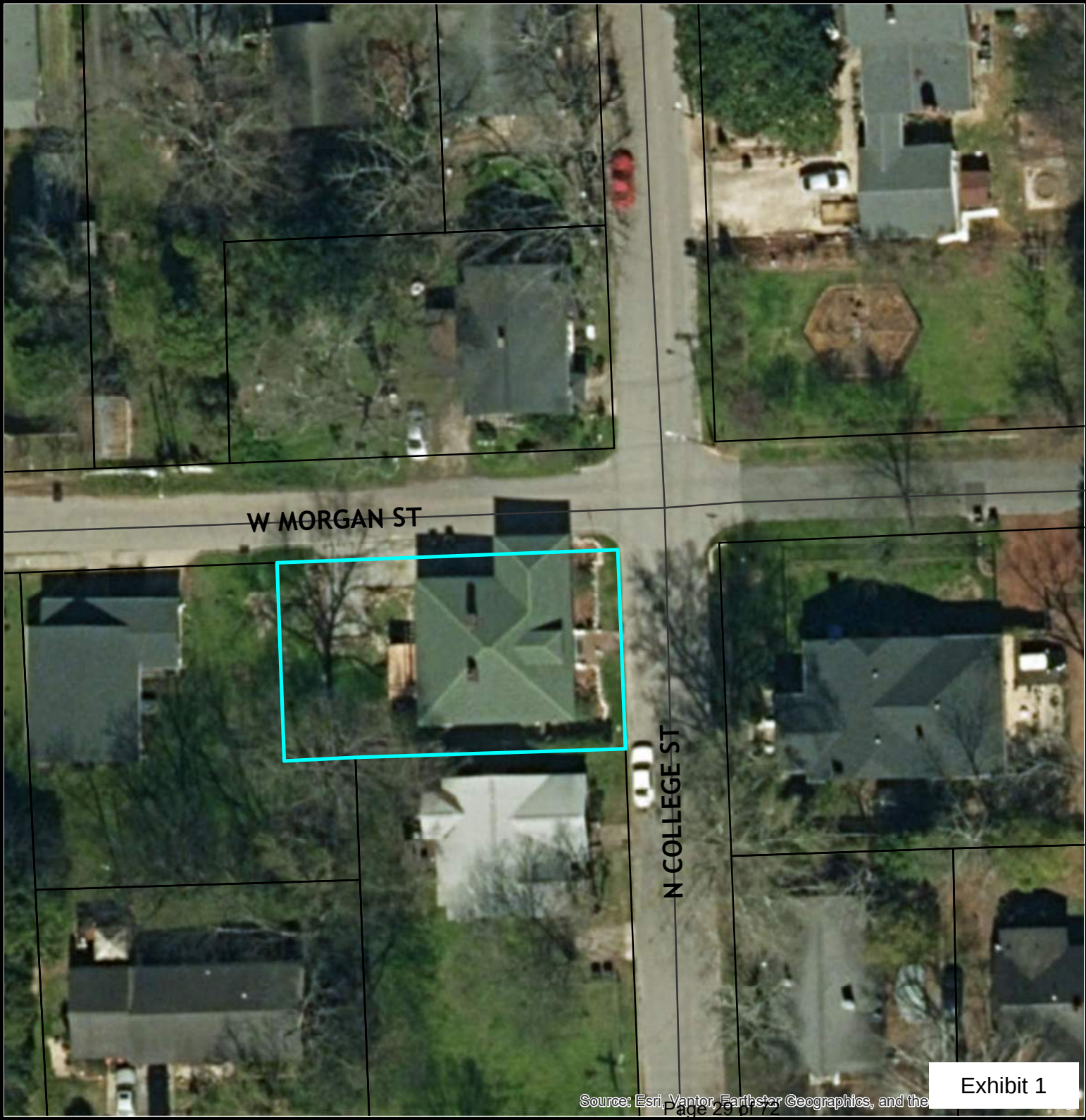
1. If needed, introduce new or additional means of access that are reversible and that do not compromise the original design or materials of a historic entrance or porch.

THEREFORE, on the basis of all the foregoing, IT IS ORDERED that the application for a Certificate of Appropriateness be (granted/denied) subject to review and approval of all city staff and its designated departments.

Exhibits:

1. Aerial Map
2. Zoning Map
3. Historic District Map
4. Application
5. Roof Report
6. Existing Conditions
7. Proposed Railing
8. APO List
9. APO Map

Prepared by: MB 6-17-2026



Aerial Map
PLHR-2026-00198

Legend

- Centerlines
- Parcels
- Subject Property

Existing:
RMD
Residential Medium Densiy

Owner:
Prime Property Partners, LLC

Acres: .14

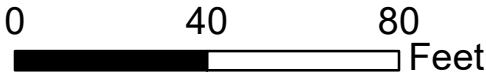


Exhibit 1



Zoning Map PLHR-2026-00198

Legend

- Centerlines
- Parcels
- RMD
- Subject Property

Existing:
RMD
Residential Medium Densiy

Owner:
Prime Property Partners, LLC

Acres: .14



0 40 80
Feet

W MORGAN ST

N COLLEGE ST

Exhibit 2



Historic District Map
PLHR-2026-00198

Legend

- Centerlines
- Parcels
- Historic District
- Subject Property

Existing:
RMD
Residential Medium Densiy

Owner:
Prime Property Partners, LLC

Acres: .14



0 40 80
Feet

W MORGAN ST

N COLLEGE ST

Exhibit 3



HISTORIC DISTRICT CERTIFICATE OF APPROPRIATENESS APPLICATION

Applicant's Name: Anna Underwood

Applicant's Mailing Address: 346 Knotty Wood Dr.
Monroe, NC 28110

Applicant's Phone Number: _____

Applicant's Email: _____

Property Owner Name: Prime Property Partners
by Andrew Livarchuk LLC

Property Owner Mailing Address: 4912 Woodhaven Ln. Indian Trail, NC 28079

FOR STAFF USE ONLY

Project Number _____

Received _____

d _____ Denied _____

Administrative Review _____

Commission Review _____

Applicant's Relationship to the Property Owner (Check the one that applies):

- ☐ Owner
- ☐ Legal Representative of the Owner (must attach Affidavit of owner's permission for this action)
- ☐ Developer (must attach Affidavit of owner's permission for this action)
- ☐ Other, specify (must attach Affidavit of owner's permission for this action)

Property Address: 109 N. College St. Monroe, NC 28112 Tax ID Number: 09-232-198-A

The following Certificate of Appropriateness is requested for (please provide a brief description of the proposed project, attached additional sheets if necessary):

- Take down unstable chimneys which are causing water intrusion into the attic. Take down the chimneys below the roofline.
- Replace roof (currently black architectural shingles) with black architectural shingles.
- Add black gutters to direct water away from the house.
- See attached roof report

Required materials for all applications:

- Completed application form. Describe clearly and in detail the nature of the proposed project. Attach additional sheets if necessary.
- Photographs of site and existing conditions, as well as any proposed materials.
- Site plan showing property lines, existing and proposed changes

→ Add black iron railing to back steps going down to patio and back entrance.

A picture of where the railing will be is attached as well as the style. No railing is currently present.

→ Proposed materials: black architectural shingles, black gutters, black iron railing.
metal

Approval for previously unpainted brick surface that was completed by previous property owner. The seller who sold them the house said it was completed prior to him owning the home as well and he only did touch ups.

Incomplete applications will not be processed and will not be accepted after the 30-day deadline.

If your project is required to be heard by the commission, you or a representative will need to attend the meeting. If you are signing on behalf of a business (such as an LLC), you must include your title with the company

By signing and submitting this document, I agree that all signatures where required may be Electronically Signed by either party pursuant to NCGS 66-315(b).

Applicant (printed): Anna Underwood

Applicant (signed): Anna Underwood

Date: 6/16/26

Owner (printed): Prime Property Partners, LLC by Andrey Livarchuk

Owner (signed): Ali
56A322D4C1194C2...

Date: 6/16/26



Roofing Inspection Report



109 North College Street, Monroe NC 28112

Company Information

Client Information

Overall Summary

Roof Summary and Recommendation

The roof system exhibits widespread deterioration and numerous installation deficiencies that significantly impact its overall performance and serviceability. Conditions observed during the inspection include extensive granule loss and shingle blistering, wind-related damage, damaged and improperly repaired shingles, torn and deteriorated hip and ridge cap shingles, exposed fasteners throughout the roofing system, improper flashing installations, inadequate ventilation, cracked roof decking, evidence of moisture intrusion, and multiple areas of water-related deterioration.

The chimney systems also exhibit significant deficiencies, including deteriorated corbelled brickwork, missing chimney crowns, loose chimney caps, failing sealants, improperly installed flashing components, and evidence of water intrusion into the attic and roof structure. Additional concerns include deteriorated decking at dormer sidewalls, compromised roof penetrations, insufficient shingle overhang in multiple locations, exposed wood components, and ventilation deficiencies caused by blocked soffit vents and the absence of ridge vent exhaust ventilation.

Due to the quantity, severity, and widespread nature of the deficiencies observed, isolated repairs are unlikely to provide a long-term solution. The roofing system has reached a condition where continued patching and maintenance may not be cost-effective. Based on the conditions documented during this inspection, complete roof replacement is recommended. Replacement should include correction of all flashing deficiencies, replacement of damaged roof decking as needed, proper attic ventilation upgrades, and repair of associated chimney and roof penetration components to restore the roof system to acceptable standards.

Findings



Moderate

Status: Monitor

Description:

Excessive shingle overhang was observed at the roof edge. The overhang measured approximately 4 inches, exceeding the recommended maximum of 1.5 inches. This condition may increase the risk of wind damage and should be corrected by a qualified roofing contractor.

2



Moderate

Status: Monitor**Description:**

Excessive shingle overhang was observed at the roof edge. The overhang measured approximately 4 inches, exceeding the recommended maximum of 1.5 inches. This condition may increase the risk of wind damage and should be corrected by a qualified roofing contractor.

3



Minor

Status: Monitor**Description:**

Loose nails and roofing debris were observed on the roof surface. These materials appear to have been left behind during the roofing installation and should be removed to maintain proper roof condition and prevent potential damage.



Urgent

Status: Needs Repair

Description:

Apron flashing was observed along the sidewall transitions where step flashing is typically required. Due to the concealed nature of the installation, it could not be determined whether proper step flashing was installed beneath the apron flashing at the time of inspection.



Moderate

Status: Needs Repair

Description:

Exposed fasteners were observed in the apron flashing. This condition was present throughout the flashing installation and should be properly corrected to prevent potential water intrusion.



6

Urgent

Status: Needs Repair

Description:

A large builder's gap was observed at the roof edge. The shingles do not provide adequate overhang, leaving portions of the wood substrate exposed to the elements. This condition may contribute to moisture-related deterioration and can provide access for pests and animals to enter and nest within the structure.



7

Urgent

Status: Needs Repair

Description:

Damaged shingles and exposed fascia were observed. Without proper shingle overhang, these areas are vulnerable to moisture intrusion and potential wood rot. Correction is recommended.



8

Moderate

Status: Monitor

Description:

Heavy foot traffic was observed around the dormer area, resulting in significant granule loss and premature wear of the affected shingles.



9

Urgent

Status: Monitor

Description:

Shingles exhibiting excessive wear and granule loss should be replaced to maintain the roof's integrity and weather resistance.



Status: Needs Repair



Urgent

Status: Needs Repair

Description:

Torn hip cap shingles were observed. Damaged hip caps should be replaced to maintain proper weather protection and prevent potential water intrusion.

12



Urgent

Status: Needs Repair

Description:

Torn hip cap shingles were observed. Damaged hip caps should be replaced to maintain proper weather protection and prevent potential water intrusion.

13



Urgent

Status: Needs Repair

Description:

Torn hip cap shingles were observed. Damaged hip caps should be replaced to maintain proper weather protection and prevent potential water intrusion.

14



Urgent

Status: Needs Repair

Description:

Exposed fasteners were observed on the hip caps. These fasteners should be properly sealed or corrected to prevent potential water intrusion.

15



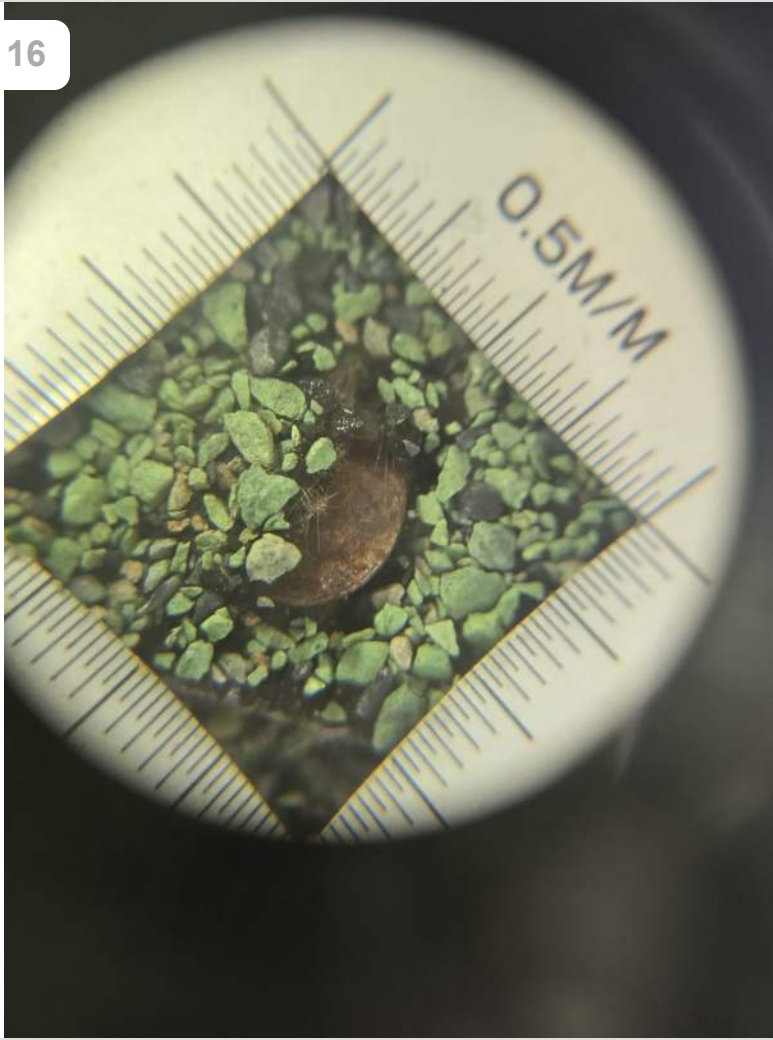
Urgent

Status: Needs Repair

Description:

Exposed fasteners were observed on the hip caps. These fasteners should be properly sealed or corrected to prevent potential water intrusion. Also cracked shingles

16

**Urgent****Status:** Needs Repair**Description:**

Multiple nail pops were observed throughout various areas of the roof. These conditions should be addressed to prevent shingle damage and potential water intrusion.

17

**Urgent****Status:** Needs Repair**Description:**

Multiple nail pops were observed throughout various areas of the roof. These conditions should be addressed to prevent shingle damage and potential water intrusion. No ridge vent present on ridge vents



Urgent

Status: Needs Repair

Description:

Multiple nail pops were observed throughout various areas of the roof. These conditions should be addressed to prevent shingle damage and potential water intrusion.



Urgent

Status: Needs Repair

Description:

Heavy granule loss, blistering, and wind-related damage were observed on the hip cap shingles. The affected areas exhibit advanced wear and should be repaired or replaced to maintain proper weather protection.

20



Urgent

Status: Needs Repair

Description:

Heavy granule loss, blistering, and wind-related damage were observed on the hip cap shingles. The affected areas exhibit advanced wear and should be repaired or replaced to maintain proper weather protection.

21



Moderate

Status: Monitor

Description:

The pipe jack flashings appear to have been replaced in the past; however, the surrounding shingles were not replaced and exhibit damage consistent with the previous repair work. Replacement of the affected shingles is recommended to maintain proper weather protection.

22



Moderate

Status: Monitor**Description:**

Improper repairs were observed at the hip caps, where standard field shingles were used in place of hip cap shingles. The affected areas should be corrected using proper hip cap materials to ensure adequate weather protection and a uniform installation.

23



Urgent

Status: Needs Repair**Description:**

The satellite mounting bracket was found to be loose at the time of inspection. This condition may allow water intrusion around the mounting penetrations and should be properly secured and sealed.

24



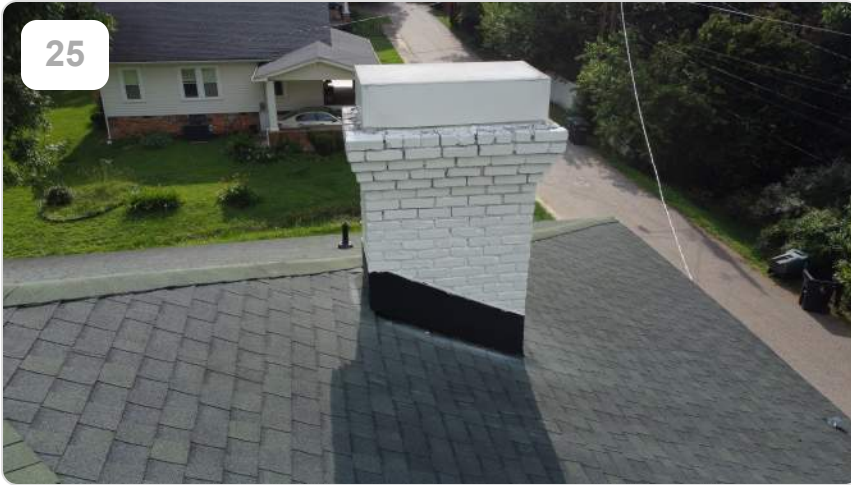
Urgent

Status: Needs Repair

Description:

The chimney exhibits multiple deficiencies. The corbelled brickwork shows signs of deterioration, including cracking, separation, and displaced mortar joints. No chimney crown (wash cap) is present to properly shed water away from the masonry structure, leaving the chimney vulnerable to moisture intrusion. Deteriorated mortar and exposed horizontal surfaces are present, which can accelerate water penetration and freeze-thaw damage. The metal chimney cap appears to be improperly supported and should be evaluated for secure attachment. Repair by a qualified masonry contractor is recommended to prevent further deterioration.

25



Minor

Status: Needs Repair

Description:

The chimney exhibits multiple deficiencies. The corbelled brickwork shows signs of deterioration, including cracking, separation, and displaced mortar joints. No chimney crown (wash cap) is present to properly shed water away from the masonry structure, leaving the chimney vulnerable to moisture intrusion. Deteriorated mortar and exposed horizontal surfaces are present, which can accelerate water penetration and freeze-thaw damage. The metal chimney cap appears to be improperly supported and should be evaluated for secure attachment. Repair by a qualified masonry contractor is recommended to prevent further deterioration.

26



Urgent

Status: Needs Repair

Description:

The chimney exhibits multiple deficiencies. The corbelled brickwork shows signs of deterioration, including cracking, separation, and displaced mortar joints. No chimney crown (wash cap) is present to properly shed water away from the masonry structure, leaving the chimney vulnerable to moisture intrusion. Deteriorated mortar and exposed horizontal surfaces are present, which can accelerate water penetration and freeze-thaw damage. The metal chimney cap appears to be improperly supported and should be evaluated for secure attachment. Repair by a qualified masonry contractor is recommended to prevent further deterioration.

27



Urgent

Status: Needs Repair

Description:

Improper chimney flashing installation was observed. Visible fasteners were present within the flashing system, and adjacent shingles were lifted. These conditions may allow water intrusion and should be corrected to ensure proper weather protection.



Urgent

Status: Needs Repair

Description:

Improperly installed counter flashing was observed at the chimney. The flashing does not appear to be installed in accordance with standard roofing and masonry practices and should be corrected to ensure proper water diversion and weather protection.



Urgent

Status: Needs Repair

Description:

Improperly installed counter flashing was observed at the chimney. The flashing does not appear to be installed in accordance with standard roofing and masonry practices and should be corrected to ensure proper water diversion and weather protection.

30



Urgent

Status: Needs Repair

Description:

Improperly installed counter flashing was observed at the chimney. The flashing does not appear to be installed in accordance with standard roofing and masonry practices and should be corrected to ensure proper water diversion and weather protection.

31



Urgent

Status: Needs Repair

Description:

Cracked and failing sealant was observed around the chimney counter flashing on both chimneys. This condition compromises the water-tight integrity of the flashing system and increases the risk of water intrusion into the roof assembly and interior structure. Prompt repair and resealing are recommended to prevent further moisture-related damage.

32



Urgent

Status: Needs Repair**Description:**

No ridge vent system was observed at the time of inspection. While the soffit ventilation appears adequate, the absence of ridge vents restricts proper exhaust ventilation from the attic space. This condition can contribute to excessive attic temperatures, moisture buildup, and premature deterioration of roofing materials. Installation of a properly designed ridge vent system is recommended.

33



Urgent

Status: Needs Repair**Description:**

The bathroom exhaust fan was observed terminating at the soffit rather than being vented through the roof. This installation can allow moisture-laden air to be drawn back into the attic space, potentially contributing to mold growth, wood deterioration, and reduced insulation performance. Relocation to a properly flashed roof vent is recommended.

34



Urgent

Status: Monitor

Description:

Water damage was observed within the attic adjacent to the chimney. The staining and deterioration are consistent with moisture intrusion and should be further evaluated and repaired to prevent additional damage to the structure.

35



Urgent

Status: Needs Repair

Description:

The exhaust vent penetration appears to have been sealed from the interior side of the roof deck. Repairs of this nature are not recommended, as they can conceal active leaks and trap moisture within the roof assembly. Any water intrusion occurring at the penetration may go undetected, potentially leading to wood deterioration, mold growth, and further structural damage. Proper repairs should be made from the exterior using approved flashing and weatherproofing methods.



36

Moderate

Status: Monitor

Description:

Visible water staining was observed within the attic. The staining is indicative of past or ongoing moisture intrusion and should be further evaluated to determine the source and extent of any underlying damage.



37

Urgent

Status: Needs Repair

Description:

The plumbing vent pipe was observed to be sealed from the interior side of the attic. Visible water staining was present around the penetration, indicating past or ongoing moisture intrusion. Interior sealants are not a substitute for proper exterior flashing repairs and may conceal active leaks while trapping moisture within the roof assembly.

38



Moderate

Status: Monitor**Description:**

Visible wood staining was observed around the plumbing vent pipe penetration. The staining is consistent with past or ongoing moisture intrusion; however, the source and current activity of the leak could not be determined at the time of inspection.

39



Moderate

Status: Monitor**Description:**

Attic insulation rulers indicated an insulation depth of approximately 14 inches, which would correspond to an estimated R-38 thermal resistance. Upon further inspection, however, the insulation depth was found to be approximately 9 inches. The insulation ruler had been bent upward at approximately the 4-inch mark, creating the appearance of greater insulation depth than was actually present. Based on the observed 9-inch depth, the attic insulation is estimated to provide an R-value of approximately R-30 to R-34, resulting in a deficiency of approximately 4 inches of insulation compared to the indicated R-38 level.

**Moderate****Status:** Monitor**Description:**

Attic insulation rulers indicated an insulation depth of approximately 14 inches, which would correspond to an estimated R-38 thermal resistance. Upon further inspection, however, the insulation depth was found to be approximately 9 inches. The insulation ruler had been bent upward at approximately the 4-inch mark, creating the appearance of greater insulation depth than was actually present. Based on the observed 9-inch depth, the attic insulation is estimated to provide an R-value of approximately R-30 to R-34, resulting in a deficiency of approximately 4 inches of insulation compared to the indicated R-38 level.

41



Moderate

Status: Monitor**Description:**

Attic insulation rulers indicated an insulation depth of approximately 14 inches, which would correspond to an estimated R-38 thermal resistance. Upon further inspection, however, the insulation depth was found to be approximately 9 inches. The insulation ruler had been bent upward at approximately the 4-inch mark, creating the appearance of greater insulation depth than was actually present. Based on the observed 9-inch depth, the attic insulation is estimated to provide an R-value of approximately R-30 to R-34, resulting in a deficiency of approximately 4 inches of insulation compared to the indicated R-38 level.

42



Urgent

Status: Needs Repair**Description:**

No ridge vents or attic exhaust fans were observed at the time of inspection. The absence of proper exhaust ventilation restricts airflow from the attic space and may contribute to heat buildup, moisture accumulation, and premature deterioration of roofing materials.

43



Urgent

Status: Needs Repair

Description:

Insulation was observed covering the majority of the soffit vents throughout the attic space, restricting proper airflow intake. Installation of insulation baffles is recommended to maintain clear ventilation pathways and promote proper attic ventilation.

44



Urgent

Status: Needs Repair

Description:

Insulation was observed covering the majority of the soffit vents throughout the attic space, restricting proper airflow intake. Installation of insulation baffles is recommended to maintain clear ventilation pathways and promote proper attic ventilation.



Urgent

Status: Needs Repair

Description:

Water damage and dry rot were observed in the roof decking along the dormer sidewall. The deterioration is consistent with prolonged moisture intrusion and should be repaired to restore the structural integrity of the affected area.



Urgent

Status: Needs Repair

Description:

Water damage and dry rot were observed in the roof decking along the dormer sidewall. The deterioration is consistent with prolonged moisture intrusion and should be repaired to restore the structural integrity of the affected area.



Roof Report

3188 sqft

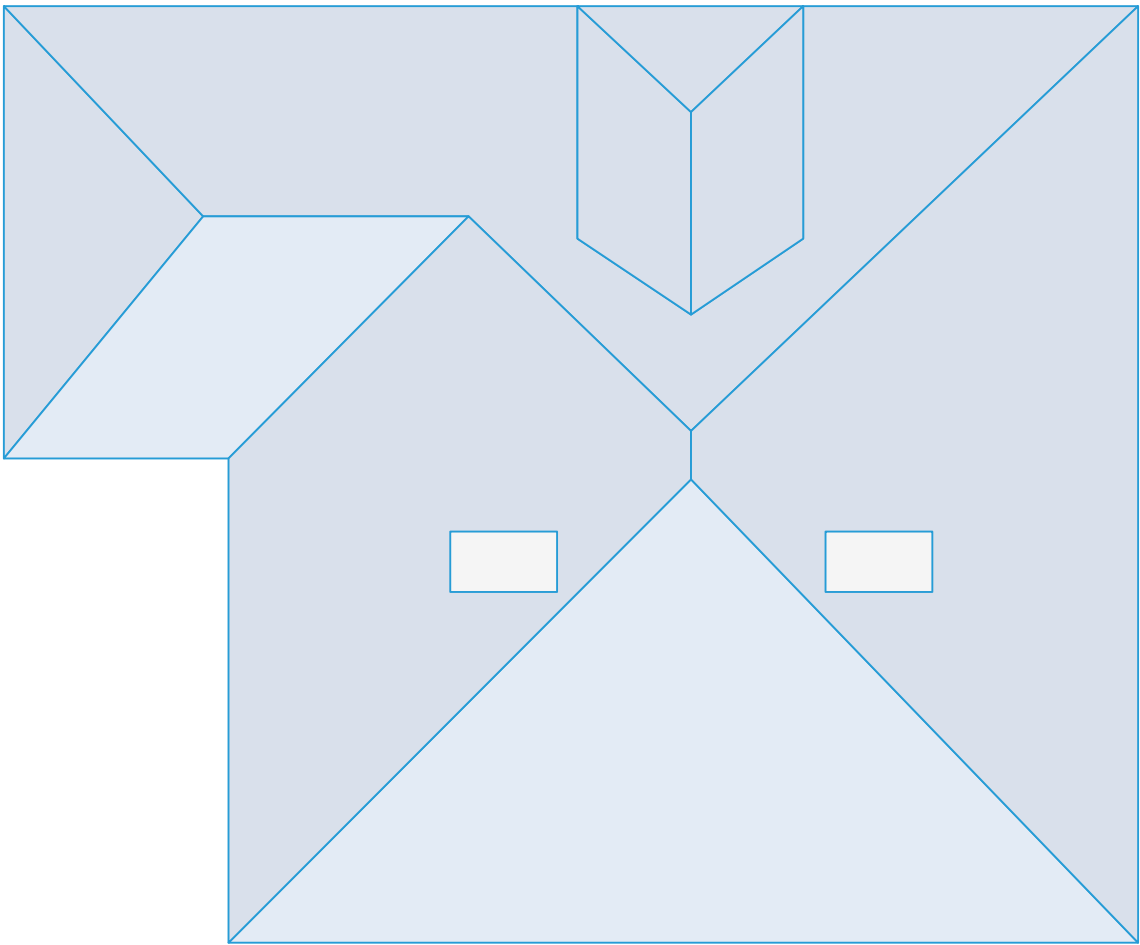
11 facets

Predominant pitch 4/12



Diagram

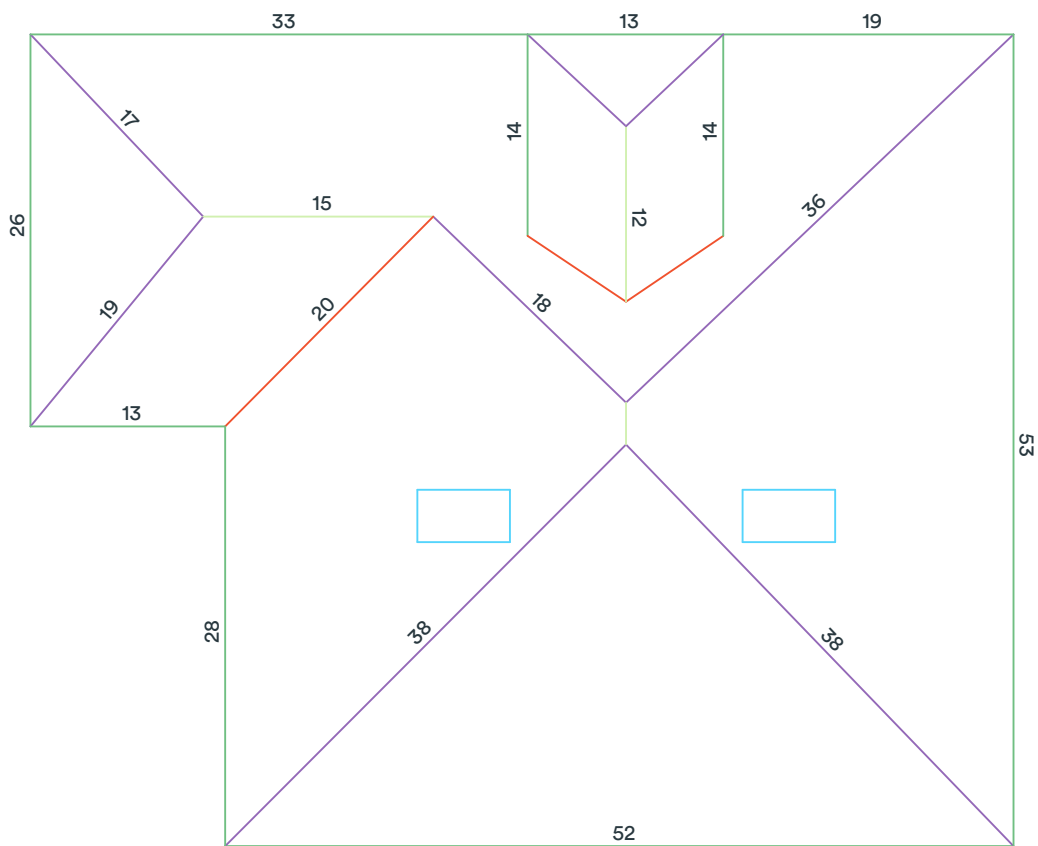
3808 Lincoln Court, Lake Park, NC 28079



Length measurement report

3808 Lincoln Court, Lake Park, NC 28079

- | | | |
|--------------------------|----------------------|--------------------------|
| Eaves: 259ft 6in | Valleys: 35ft 8in | Hips: 181ft 10in |
| Ridges: 29ft 1in | Rakes: 0ft 0in | Wall flashing: 10ft 10in |
| Step flashing: 23ft 11in | Transitions: 0ft 0in | Parapet wall: 0ft 0in |
| Unspecified: 37ft 8in | | |



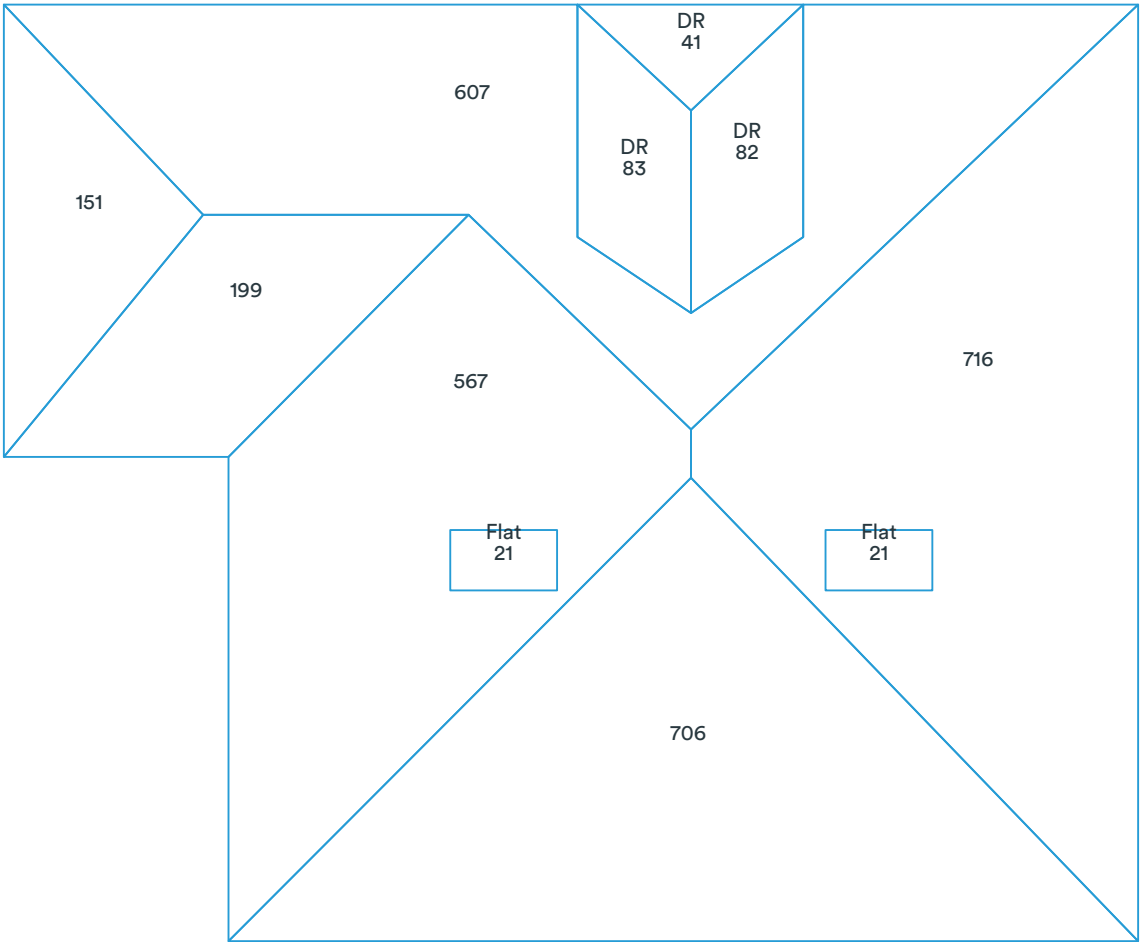
Measurements in diagram are rounded up for display. Some edge lengths may be hidden from diagram to avoid overcrowding.

Area measurement report

3808 Lincoln Court, Lake Park, NC 28079

Total roof area: 3188 sqft
Pitched roof area: 3147 sqft
Flat roof area: 41 sqft
Two story area: 0 sqft
Two layer area: 0 sqft

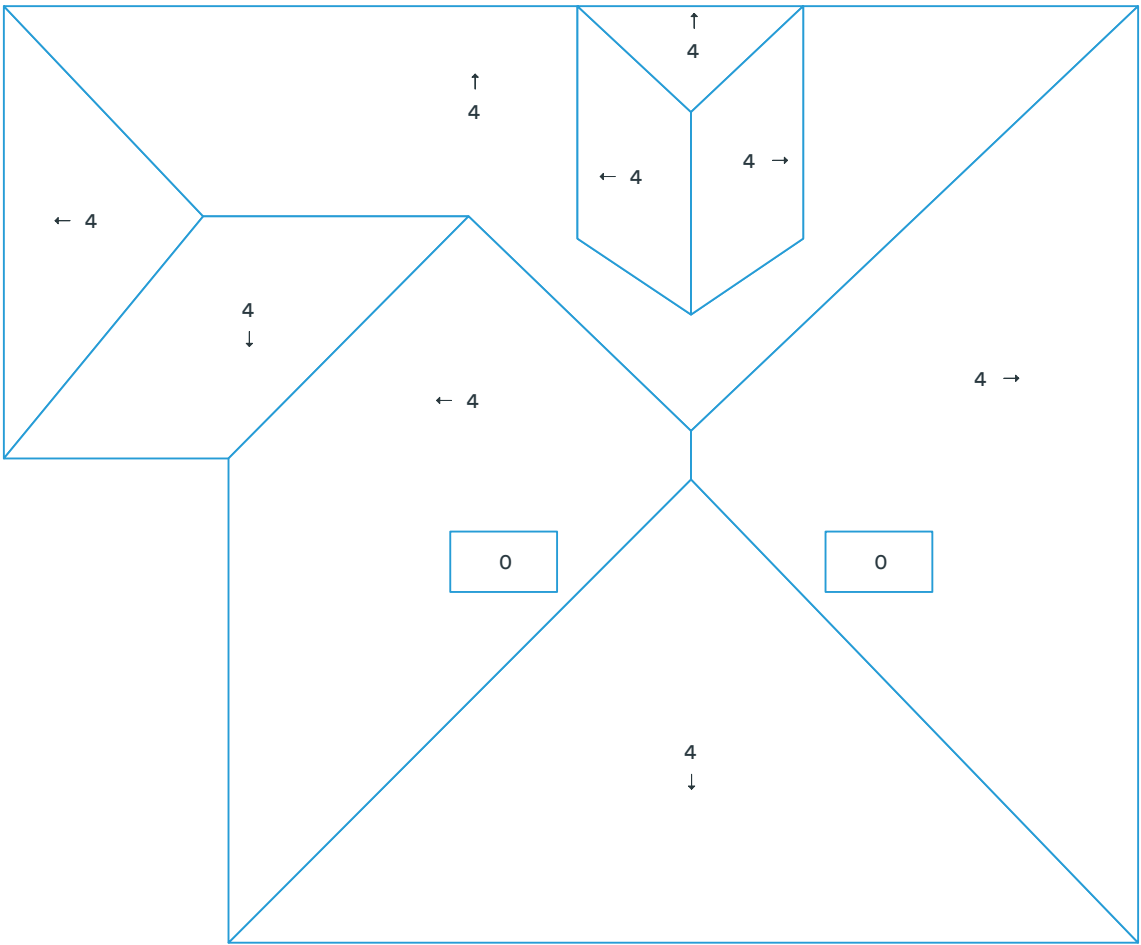
Predominant pitch: 4/12
Predominant pitch area: 3147 sqft
Unspecified pitch area: 0 sqft



Area measurements in diagram are rounded. The totals at the top of the page are the sums of the exact measurements, which are then rounded. Deleted facets (skylights, chimneys, etc.) are designated with a dashed line and are excluded from the calculations.

Pitch & direction measurement report

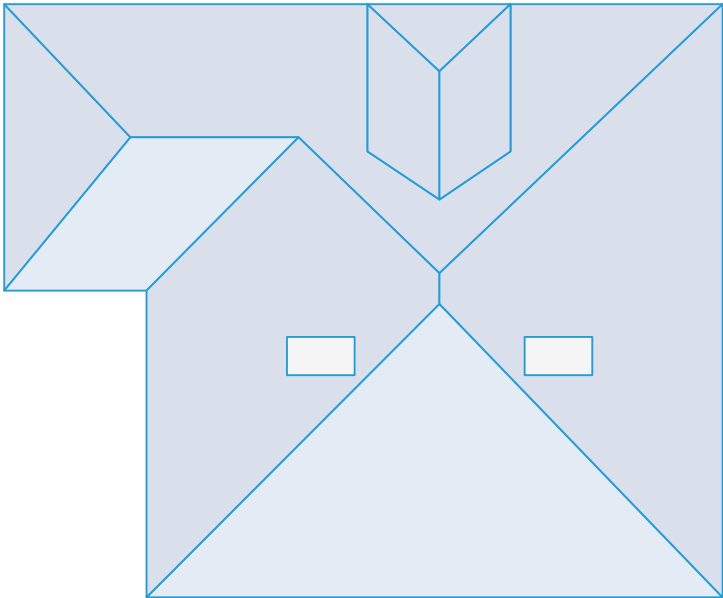
3808 Lincoln Court, Lake Park, NC 28079



Deleted facets are designated with a dashed line and do not have a pitch.

Report summary

3808 Lincoln Court, Lake Park, NC 28079



Measurements

Total roof area	3188 sqft
Total pitched area	3147 sqft
Total flat area	41 sqft
Total roof facets	11 facets
Predominant pitch	4/12
Total eaves	259ft 6in
Total valleys	35ft 8in
Total hips	181ft 10in
Total ridges	29ft 1in
Total rakes	0ft 0in
Total wall flashing	10ft 10in
Total step flashing	23ft 11in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	37ft 8in
Hips + ridges	210ft 11in
Eaves + rakes	259ft 6in

Pitch	0/12	4/12
Area (sqft)	41	3,147
Squares	0.5	31.5

Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sqft)	3,147	3,462	3,525	3,620	3,682	3,777	3,840
Squares	31.5	34.7	35.3	36.2	36.9	37.8	38.4

These waste calculations offer a general guide to total roof size with some common waste percentages applied. A number of factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style.

ESTIMATE



Service Address

109 North College
Street
Monroe , NC 28112

Prepared For

Eagle Rock Roofing LLC

Estimate # 1154

Date 06/09/2026

Description

Total

Roof Replacement 30 Year Shingles	\$15,400.00
-----------------------------------	-------------

Remove the existing roofing components, shingles, ice and water, and underlayment

Inspect the roof sheathing for any wood rot. If there is any wood rot or decking that needs to be replaced, there will be an additional charge of \$120 per 32 Square feet

Once the sheathing has been addressed, we will install synthetic underlayment on the entire roof. On the valleys, pipe jacks, furnaces went, side walls, and chimneys. We will install Ice and Water Membrane to waterproof the areas.

We will snap chalk lines on the entire roof to mark off where the shingles will be installed. The reason for the chalk lines is to make sure we have nice straight lines during the installation process.

Next, we will install starter shingles. The starter shingles are extremely important to make sure wind doesn't damage the first rows of shingles on the rakes and eaves of the home.

The next process will include installing shingles. The shingles installed will be Owens Corning Oakridge 30-year shingles

Once the roof has been installed, we will install the ridge vents and ridge caps. At that time if there are any hips, we will install hip caps on those as well.

If there is any counter flashing or step flashing that needs to be replaced, we will address the flashing as well during the installation

And finally, we will make sure to do a full cleanup of all of the debris associated with the replacement. At the end, once all of the shingle materials have been picked up, we will walk

magnets to ensure we pick up nails off the grass and driveway.

Chimney Removal	\$2,600.00
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Remove existing masonry chimney from its current height down to the roof line. Scope of work includes demolition and disposal of all chimney brick, mortar, chimney cap, crown, flashing, and associated materials above the roof surface. Following demolition, install new roof decking as required, underlayment, ice and water barrier, flashing, and matching roofing materials to restore the roof system to a weather-tight condition. All debris shall be removed from the property and disposed of in accordance with local regulations.

Subtotal	\$18,000.00
Total	\$18,000.00

By signing this document, the customer agrees to the services and conditions outlined in this document.

Eagle Rock Roofing LLC

Kevin Centrella



Rear Of Structure

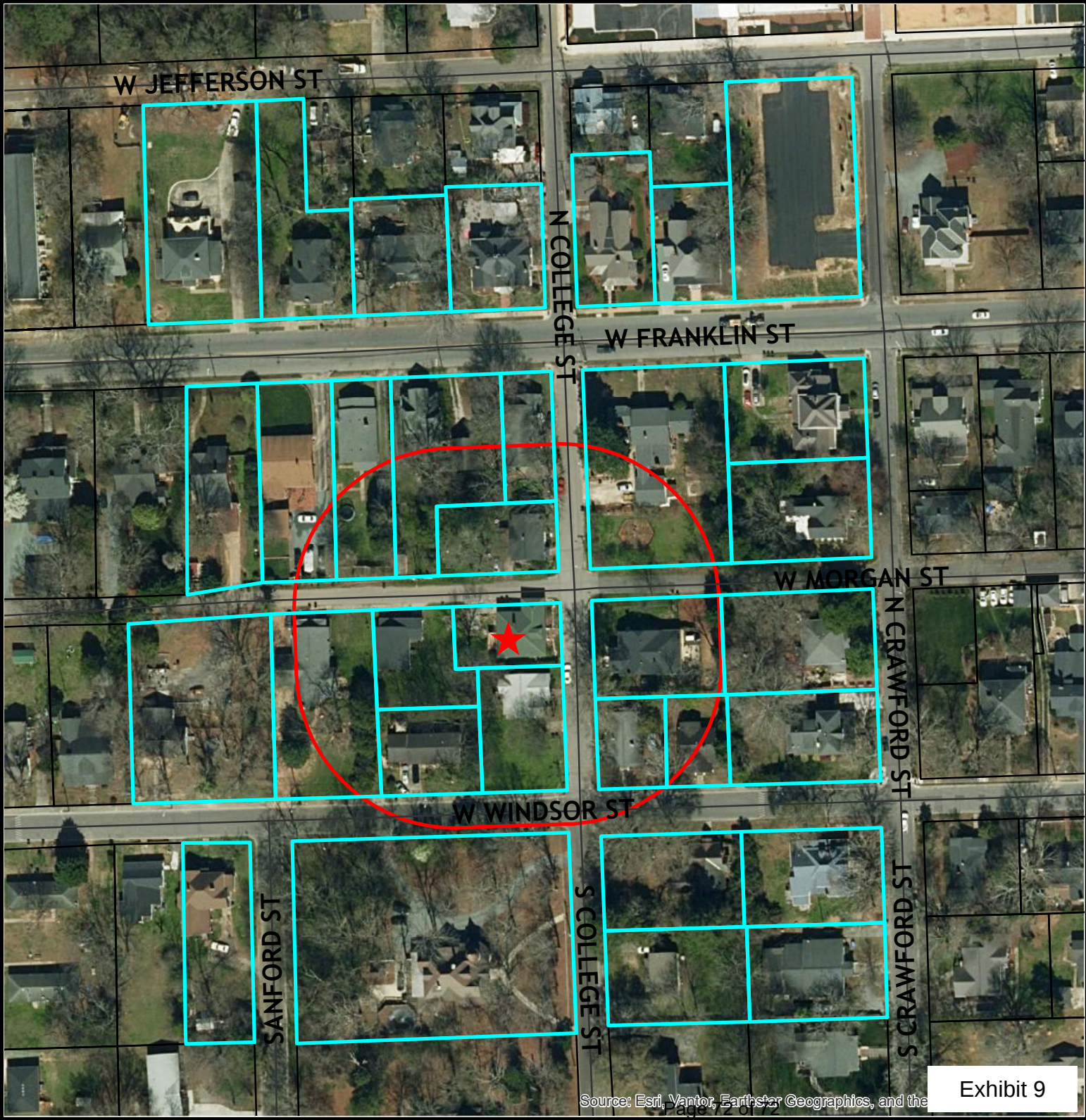


Current Condition of Rear Steps



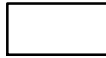
Proposed Iron Railing

ACCTNO	CURR_NAME1	CURR_NAME2	CURR_ADDR1	CURR_CITY	CURR_STATE	CURR_ZIPCODE
09232202	ALSOBROOKS BUILDING AND CONSULTING LLC		3507 FINCHER RD	MATTHEWS	NC	28104
09232182	AUSTIN JOE E JR		105 ESK CT	CARY	NC	27511
09232233	BULLARD ROBERT H		504 W FRANKLIN ST	MONROE	NC	28112
09232193	CARELOCK LARRY JUNIOR		1006 ZEPHYR CIR	MONROE	NC	281100000
09232198	CHAMBERS TEDDY L	CHAMBERS PATRICIA M	604 W WINDSOR ST	MONROE	NC	28112
09232204	COOKE STEVEN	COOKE JESSICA	103 N CRAWFORD ST	MONROE	NC	28112
09232199	CTJ INVESTMENT GROUP LLC		PO BOX 482	MONROE	NC	28111
09232196	CURETON VANCES		704 W WINDSOR ST	MONROE	NC	28112
09232223	DAIGLE SARA KAUFFMAN		605 W FRANKLIN ST	MONROE	NC	28112
09232184	DALLEY DAVID A TRUSTEE		110 S COLLEGE ST	MONROE	NC	28112
09232198B	DEESE MARY ELLEN		607 W MORGAN ST	MONROE	NC	28112
09232229	DEHART ANGIE	ROSE BRIAN	700 W FRANKLIN ST	MONROE	NC	28112
09232172	DELANEY HERBERT STANHOPE	LEDFORD TRACY RENEE	9221 MCELROY RD	WAXHAW	NC	281739038
09232201	DONTON LEE III	DONTON THOMAS FRANKLIN	4801 ST SIMONS TER	WAXHAW	NC	28173
09232220	DT SQUARE PROPERTIES LLC		PO BOX 29586	CHARLOTTE	NC	28229
09232219	FAGAN MATTHEW	FAGAN KELLY	201 N CRAWFORD ST	MONROE	NC	28112
09232183	FELTS CHELSEY SHEA ET AL	WORTMAN JUSTIN TODD	3005 S POTTER RD	WAXHAW	NC	28173
09232234	GOLDFARB CARL	GOLDFARB SHARRON	502 W FRANKLIN ST	MONROE	NC	28112
09232232	HILL SHANNON M		600 WEST FRANKLIN ST	MONROE	NC	28112
09232225	JOYCE DAVID		609 W FRANKLIN ST	MONROE	NC	28112
09232221	KNOX WALTER		203 N COLLEGE ST	MONROE	NC	28112
09232205	MOORE JENNIFER REBECCA	MOORE GREGORY RALPH	101 N CRAWFORD ST	MONROE	NC	28112
09232230	MORGAN MARIAN V		604 W FRANKLIN ST	MONROE	NC	28112
09232173	MURRAY KEVIN D	MURRAY MARTHA R	%MURRAY PROPERTIES 2006 WALKUP AVE STE A200	MONROE	NC	28110
09232222	PORTER PEGGY B		601 WEST FRANKLIN ST	MONROE	NC	28112
09232198A	PRIME PROPERTY PARTNERS LLC		4912 WOODHAVEN LN	INDIAN TRAIL	NC	28079
09232203	SHANLEY LAURA		108 N COLLEGE ST	MONROE	NC	28112
09232227	SMITH BRADFORD R	SMITH DEBORAH A G	703 W FRANKLIN ST	MONROE	NC	28112
09232226	STEGALL STEVEN M	STEGALL KELLY A	701 W FRANKLIN ST	MONROE	NC	28112
09232224	SWARTZFAGER JOHN GEORGE JR		607 W FRANKLIN ST	MONROE	NC	28112
09232197	VILLANUEVA JUAN GARCIA	CHINO FABIOLA ACATITLAN	15 DENNIS ST	MONROE	NC	28110
09232231	WARD JUDY ROBINSON		602 W FRANKLIN ST	MONROE	NC	28112



APO Map
PLHR-2026-00198

Legend

-  Centerlines
-  150 Foot Buffer
-  Parcels
-  Subject Property
-  Notified Properties

Parcels Notified: 33

