

PLANNING BOARD MEETING

Wednesday, February 3, 2021

6:00 PM

Conference Room

300 West Crowell Street

Monroe, NC

AGENDA

- Item 1. Call to Order – Roll Call**
- Item 2. Approval of Minutes –Meeting of December 2, 2020**
- Item 3. Annexation of 340.514 acres located along Marion Lee Road, US Highway 601 and White Store Road and further identified with parcel numbers #09-125-132 and #09-128-001**
- Item 4. Zoning Map and Text Amendment request for properties located along Marion Lee Road, US Highway 601 and White Store Road from RA-40 (Union County Residential Low Density) to Conditional District (CD) “The Greenway at Lake Lee”**
- Item 5. Other**
- Item 6. Adjournment**

ATTENTION BOARD MEMBERS: Please contact Maryann Brown at 704.282.4527 or Lisa Stiwinter at 704.282.4569 to confirm your attendance. Thank you.

cc: Planning Staff
 Ashley Duncan
 Mujeeb Shah-Khan

PLANNING BOARD MEETING

December 2, 2020 @ 6:00 PM

City Hall – Conference Room

300 W. Crowell Street, Monroe, NC

To Sheri Laney on December 3, 2020

Scheduled for adoption at the January 6, 2021 meeting

Item 1. Call to Order/Roll Call

Vice Chair Mary Ann Rasberry called the December 2, 2020 meeting to order at 6:00 p.m. Doug Britt called the roll. Vice Chair noted that a quorum was present.

Members Present: Mary Ann Rasberry, John Harris, Richard Yercheck (late), John Ashcraft, Renee Hartis, Richard Ali and Jennifer Smith (alternate)

Members Absent: Russ Asti, Edith Covington and Vickie Greene

Staff Present: Doug Britt, Senior Planner; Keri Mendler, Planner; Maryann Brown, Administrative Assistant via Zoom, and Ashley Britt, Assistant City Attorney via Zoom

Guests: **CD “ETC Crematorium Amendment II”**
Jonathan Holland
Jana Holland

CD “Secrest Meadows”
Matt Mandle, ESP
Skylar White, ESP
Dan Robertson

Item 2. Approval of Minutes of Meeting

Motion: John Ashcraft made a motion to approve the minutes of the November 12, 2020 meeting.

Second: Richard Ali

Action: The motion to approve the minutes passed unanimously.

Item 3. Zoning Map and Text Amendment request by ETC Partnership for property located at 806 Circle Drive from Conditional District “ETC Crematorium Amendment I” to Conditional District “ETC Crematorium Amendment II” (Tax ID #09-195-010-B)

Doug Britt, Senior Planner, introduced this item and said this is a Zoning Map Amendment or amendment to the existing Conditional District. He said the applicant has requested to rezone the property from Conditional District “ETC Crematorium Amendment I” to Conditional District “ETC Crematorium Amendment II”. He said the applicant has requested a Zoning Map Amendment to add a 1,900 square foot addition to the existing building, as well as the building to hold funerals and memorial services in conjunction with the current funeral planning/crematory business located on the property.

Doug showed the zoning map of the property. He said the applicant owns the adjacent property to the north, which is a parking lot. He said the applicant's property is zoned Conditional District and adjacent properties are zoned OT (Office Transitional) and R-20 (Single-Family Residential High Density). He said the site plan shows the area of the addition of the existing building. He said the site is approximately 1,900 square feet and they need to have a total of 68 parking spaces on this property and adjacent property.

Doug said the project is consistent with the Land Development Plan. He said staff does recommend approval. He said he would be happy to answer any questions at this time and the applicant is here as well.

Vice Chair asked if there were any questions for Doug.

Renee Hartis asked if the 68 spaces will be enough. Doug said for a funeral, yes. Mr. Holland said when they started they had 18 spaces.

Vice Chair asked if there were any other questions. There were none.

Vice Chair asked if there was anyone who would like to speak in favor of this request. Mr. Jonathan Holland, the applicant, said they are here seeking approval and would be glad to answer any questions. He said he appreciates the Board taking the time to meet with them once again.

Vice Chair asked if there were any questions for Mr. Holland. There were none.

Vice Chair asked if anyone would like to speak against this request. There was no one.

Vice Chair asked if anyone would like to make a motion.

Motion: John Ashcraft made a motion to recommend adoption of the Resolution Approving the Land Development Plan Compliance.

Second: John Harris

Action: The motion to recommend adoption of the Resolution Approving the Land Development Plan Compliance passed unanimously.

Vice Chair asked for a motion on the Ordinance amending Section 156.98 – Conditional Districts Established and Section 156.106 – Official Zoning Map.

Motion: John Ashcraft made a motion to recommend the adoption of the Ordinance amending Section 156.98 - Conditional Districts Established and Section 156.106 - Official Zoning Map.

Second: Richard Ali

Action: The motion to recommend adoption passed unanimously.

Item 4. Zoning Text and Map Amendment request for property located along Secrest Short Cut Road from Residential (R-40) to Conditional District “Secrest Meadows” and further identified with Parcel IDs #09-256-001, 09-256-001L, 09-256-001J and 09-256-001D

Keri Mendler, Planner, introduced this item and said tonight she will be presenting a Zoning Text and Map Amendment. She said the applicant is requesting a Conditional District rezoning in order to develop a 135 single-family lot subdivision. She said the total area of this project is 63.08 acres with 15.77 acres or 25% of that as common open space. She said the density of the project is 2.14 units per acre.

Keri said there are four (4) parcels involved and it is located west of Secrest Short Cut Road near Roanoke Church Road. She said the subject property is currently zoned R-40 and the adjoining parcels are also zoned R-40, R-20-SU (the first phase of Hilton Meadows) and there is also Conditional District “Hilton Meadows” (the second phase of Hilton Meadows).

Keri said as she mentioned, the applicant is requesting the rezoning in order to develop 135 single-family lots. She said the total area of the project is 63.08 acres and the density is 2.14 units per acre. She said the minimum lot size is 6,250 square feet. She said the average proposed lot size is 7,095 square feet. She said the proposed setbacks are 20 feet for the front and rear, 5 feet for the side and 10 feet for the corner side lots. She said the project is required to provide at least 12.5% open space which would equal 7.89 acres. She said the total area of open space provided is 15.77 acres which is 25% of the overall site. She said 8.04 acres or 13% of that is located within a flood plain. She said the open space will also include soft surface trails throughout in addition to a combination of the following components: covered pavilion/shelter with benches, picnic tables and/or playground equipment.

Keri said just to orient you to the site again, it is located off of Secrest Short Cut Road. She said there will be some soft surface trails throughout which is indicated on the site plan. She said there are some trails which go around the stormwater area and then meander through the open space. She said there is a community area located at the front part of the project and that is where some of the other components, such as the picnic area and playground equipment will be located.

Keri said all blue line streams on the site have been provided with a 50-foot buffer on all sides. She said as far as landscaping goes, street trees will be provided at a rate of one (1) tree per 50-linear feet and all houses will have two (2) yard trees. She said a 50-foot landscaping buffer has also been provided along Secrest Short Cut Road.

Keri said each home will have a minimum of a two-car attached garage and all front-load garages will have carriage-style trim and hardware that mimics carriage-style doors. She said driveways will be able to accommodate at least two (2) vehicles. She said a 5-foot wide sidewalk will be provided along both sides of the interior roads throughout the development. Additionally, she said an 8-foot wide sidewalk will be provided along the frontage of Secrest Short Cut Road.

Keri said the development is proposed to be accessed by one (1) entrance on Secrest Short Cut Road. Additionally, she said there will be a left-turn lane and a right-turn lane added on Secrest Short Cut Road. She said lastly, they are proposing a connection into the existing Hilton Meadow subdivision at an existing right-of-way stub out.

Keri said the developer is proposing homes to be a minimum of 1,700 heated square feet. She said the proposed exterior building materials will include fiber cement, stone, stucco and/or brick. She said vinyl

and metal will only be used for trim work and at least 25% of the front elevation will consist of brick or stone.

Keri said the development does fall within the Porter Ridge Elementary School, Piedmont Middle School and Piedmont High School for the 2020/2021 school year.

Keri said as far as neighborhood notification, the applicant did hold a virtual neighborhood meeting on September 16, 2020. She said both the video conference and dial-in phone conference options were available to participants and approximately 17 individuals attended this meeting. She said a summary of that meeting is attached in your packet as well.

Keri said a rezoning notification sign will be posted on the property ten (10) days prior to the public hearing. She said the City will also send out an official rezoning notification letter at least ten (10) days prior to the public hearing to all property owners within at least 150 feet of the property.

Keri said the Land Development Plan indicates this area is Suburban Character Area. She said while residential uses typically take the form of neighborhoods with uniform housing types and densities, a mix of housing types and lot sizes is preferred in the Suburban locations. She said multimodal connectivity between neighborhoods and to nearby centers also should be emphasized. She said the density for the Suburban Character Area is 2-4 units per acre.

Keri said the proposed project is consistent with the Future Land Use Plan. She said staff does recommend approval of the rezoning. She said she would be happy to answer any questions and the applicant and engineer are here also to answer questions.

Vice Chair asked if there were any questions for Keri.

John Ashcraft asked Keri about the amenities. Keri said there are pictures in the packets as well. She said the applicants will also have a presentation as well and will go over everything with a little more detail. She said she believes this presentation was used at the neighborhood meeting.

Jennifer Smith asked Keri if there is to be only one (1) access in and out of the neighborhood. Keri said there is only one (1) off of Secrest Short Cut Road, but they are proposing a connection into and through the existing Hilton Meadows subdivision. She said there is a right-of-way that stubs out to this property that they are proposing to connect to.

Richard Ali said to Keri that the packet talks about the approved developments that are not yet developed. Keri said she believes the packet mentioned the school system's response. She said not all the developments are in the City limits. Mr. Ali said to Keri that of all those that are listed, approximately 1655 units, how many of those are actually being developed right now. Keri said she would go through the developments in the City limits:

Poplin Grove	Currently under construction
Stratford	Approved around 2007. Nearing completion.
Stallings Brook	Currently going through construction plan phase.
Woodlands Creek	Probably near completion.
Redwood	Currently going through construction plan phase. They might have permits for houses at this time.
Simpson Farms	Currently going through construction plan phase.

Stewart's Creek	This project was denied.
Fowler Secrest	Not sure of this subdivision of 105 units.
Stewart's Crossing	Currently going through construction plan phase.
Founder's Point	Currently going through construction drawings.

Keri said the other subdivisions are not in City limits.

Mr. Matt Mandle, ESP Associates, 3475 Lakemont Boulevard, Fort Mill, SC, came forward and said he appreciates your time this evening and having us here in person. He said Keri did a very good job going through the project so he just wanted to mention a few things. He said they have had a lot of good interaction with the community and staff. He said ESP is an engineering consulting firm that has been hired by Eastwood Homes. He said Mr. Dan Robertson from Eastwood is here as well tonight. He said Mr. Robertson will give a brief introduction about Eastwood and then he will speak again about the project and answer any questions.

Mr. Dan Robertson of Eastwood Homes came forward and said that Eastwood Homes was founded in 1977 by Joe Stewart. He said Mr. Stewart is from Gastonia and still lives there. He said Eastwood is currently run by Joe Stewart's son, Clark Stewart, who also lives in Gastonia. He said Eastwood has eight (8) divisions, all across the southeast, but they still call Charlotte their home. He said Charlotte is their corporate headquarters and this would be their first community in Monroe. He said they are really excited to come out to Monroe. He said that Eastwood is really proud of the homes that they build and the communities that they build.

Mr. Robertson showed some slides of the communities that they have built around Charlotte. He said they have put a lot of thought, care and effort into communities that they build. He said you will find a lot more detail in the elevations of their homes than a lot of their competitors. He said when you go inside he guarantees you will see the detail inside. He said Keri had said the minimum square footage would be 1,700 square feet and he said currently the minimum would be 1,800 square feet all the way up to 3,050 square feet. He said marketing and sales will have something to say about this as they get closer, but that is what they have planned. He said they really are more of a first time step-up home builder so their price point is going to be from the low \$300,000s to the high \$300,000s.

Mr. Mandle said they went through the process of a few submittals with staff. He said they did have a neighborhood meeting virtually on the 16th which was well attended. He said they have made some revisions based on the meeting and reviews from staff. He said they are now here before the Planning Board asking for a favorable recommendation to move forward to Council hopefully in January.

Mr. Mandle went over the slide presentation. He said the area is primarily wooded, with a few existing residences. He said the Hilton Meadows community is to the south. He said as Keri mentioned, there is a proposed connection to Sonoma Way or an existing right-of-way. He said it is an additional egress point to both our community and Hilton Meadows. He said they had some conversations with Fire and they are okay with this. He said this will not only benefit our community but Hilton Meadows as they only have one access.

Mr. Mandle said as a result of the community meeting, a majority of the Hilton Meadows residents did have some input on the proximity of lots to their existing lots. He said as a result, we told them we would look at some alternatives. He said the current plan we have submitted has created a much larger open space against the back of those lots to address some of their concerns. In addition, he said they did receive some feedback from DOT on entrance spacing between Hilton Meadows and Roanoke Church Road. He said

we worked with DOT to provide the minimum spacing to allow full access to our community. He said they would be proposing a left-turn lane in and a right-turn lane as well.

Mr. Robertson said regarding the elevations, Eastwood has committed to doing a mix of fiber cement with several different types of siding, lap siding, shake siding, board and batten. He said 25% will be stone or brick. He said Eastwood is a semi-custom building so we don't build that many speculative houses. He said typically a home buyer can come in and make the selections. He said because people have different preferences, there will be much more of a variety. He said Eastwood gives them some models to choose from and then the home buyer picks which elevation of that model that they want.

Mr. Robertson went over some of the architectural commitments. He said there will be a two-car garage, a minimum of four courses of brick around the house or 11 inches of stone. He said a lot of times slab houses look a little flat, but if you can have a course of stone or brick around the bottom, it creates that feeling of depth to the house. He said the front wall won't run unbroken. He said a majority of the roofs will have 6/12 pitch and the chimneys will be stucco with brick. He said the front-loaded garages will have carriage-style hardware.

Mr. Mandle said to highlight some of the open space, we are providing a 50-foot buffer along Secrest Short Cut Road. He said there will be an amenity area as you come into the community that serves as an arrival point along with this pocket park. He said, again, there will be a larger open space behind Hilton Meadows. He said there are some street features that run through the site that will be buffered as required. He said the open space areas serve as a unique opportunity to allow some soft surface trails for walking, hiking, in addition to the sidewalk which will be on both sides of the street.

Mr. Robertson provided some examples of ideas they have had: natural walking trails, pavilion gathering spaces, benches that are on open green areas and around the walking trails. He said they are providing amenities that are active amenities. He said they found that the pool clubhouse is an outdated model and is really expensive to build and maintain and then it gets used twice a year on July 4th and Memorial Day. He said their amenities will be used a lot and from a maintenance perspective, members of the HOA are much happier and don't have to pay higher dues for maintenance.

Mr. Mandle said they would be happy to answer any questions and he would like to point out that staff is making a favorable recommendation for this project within the density that is recommended. He said also, it may be a little different than some of the projects that have been provided in the past in that this is providing step-up homes, not necessarily entry-level homes.

John Ashcraft asked if it was said that the price point is in the low \$300,000s or high \$300,000s. Mr. Mandle said that is correct. Mr. Ashcraft said he has been an advocate for years that we really need to bring higher income families into the market. He said this is going a step above what we normally see at these meetings which is the low \$200,000s to \$275,000.

Richard Ali said he was going to ask this same question. He said in your presentation here you show the \$250,000 range. Mr. Mandle said to Mr. Ali that the presentation you may have is from a few months ago. Mr. Ali said he likes the low density (2 units per acre) compared to what we have seen.

Mary Ann Rasberry disagreed and said if you are using all the acreage, it comes out to 2.85 units. Keri said staff calculates the density based off the total site size because the open space is going to be dedicated to the HOA and won't be buildable. Ms. Rasberry said her point is when you look at the street, it looks like 2.85 houses per acre. Mr. Ali agreed but said if you use that formula some of the developments that we

have looked at would be less. He said in comparison this development is lower. John Ashcraft agreed that this is one of the lowest ones we have seen.

Mary Ann Rasberry said she is disappointed that the houses look like all the other houses they have seen. She said if you are doing a step-up for the home buyer, there is something not there. She said she would like to see them look more alike the second home rather than looking like every house in subdivisions that have come to this Board.

John Ashcraft said he agrees to a degree. He said the home buyer will build a house on a case-by-case basis. Mr. Robertson said the inside may be the same but the appearance from the front may be different because there are five or six front elevations that are available.

Renee Hartis said she really likes the double porches. She said we haven't had any of that in other subdivisions.

Mary Ann Rasberry said whether it is a 900 square foot house or 3,000 square foot house, they all look the same. Mr. Mandle said these are renderings. He said when you come in and build a house you have a palette of colors that you can select. He said not everyone will select the same color.

Jennifer Smith agreed with Mary Ann Rasberry and said all the houses look alike. Mr. Mandle said most home builders when you go in to build a home will have an anti-monotony scheme selection so that if a house A is one elevation with certain colors, the house right next to it will have certain criteria for what can be next to house A.

Richard Yercheck said this is what is happening today. He said the days of buying a lot, having a custom builder come in and design a house, are gone. Mary Ann Rasberry said she is not asking for that, just some variety. Discussion was held on the renderings.

Mary Ann Rasberry asked if there were going to be sidewalks on both sides of the street. Mr. Mandle said both sides. Keri said there would be 5-foot sidewalks on both sides and 8-foot wide on the exterior. She said this is pretty standard on all of their projects.

Keri said there will also be turn lanes for this development---a left-turn lane and a right-turn lane

Mary Ann Rasberry asked if the existing neighborhood had any problems with using the connection to Hilton Meadows. Mr. Mandle said we had a lot of conversation about that during their neighborhood meeting. He said a few folks were surprised that the connection was there because it has been a temporary cul-de-sac for so long. He said this project has one access point and they have one access point. He said connectivity is a planning principle to promote circulation and traffic flow. Ms. Rasberry asked if they were okay with the increase in their traffic. Mr. Mandle said he does not know if it is the intent that folks from our neighborhood are going to be using this access. He said what this does is that in the event that there is something happening nearby it gives everyone an additional means of egress and access to their community which they don't currently have.

John Ashcraft said it is a really big public safety factor because in case a fire truck is in one subdivision they do not have to drive back out to Secrest Short Cut and then drive into the other subdivision. He said whether this gets approved or not, that is between the neighborhoods.

Jennifer Smith asked how many houses are in the other neighborhood. Keri said it is not terribly large. She said it is probably less than 100 houses.

Richard Ali asked Mr. Mandle what kind of vibe did he get from the people at the community meeting. Mr. Mandle said we felt that we had good feedback and good conversation. He said there was not a follow-up meeting but we walked away from the meeting letting the neighbors know we were going to look at their comments and feedback. He said one of the big items was how close the lots were backing up to the lots at the front. Renee Hartis asked if they were proposing a buffer. Mr. Mandle said there is probably 50 feet of open space there.

Richard Ali asked Mr. Mandle if he was able to answer the questions in an acceptable way. Mr. Mandle said we felt we addressed all of their concerns. He said the people on Sonoma are obviously close and their questions were about existing trees and open space there. Renee Hartis asked if there was going to be landscaping there. Mr. Mandle said there are some existing trees that have to be removed and landscaping is required by City ordinance.

Mr. Mandle said it was his understanding at the meeting that the front portion had been there for a while. Keri said the Special Use Permit was approved in the early 2000s. She said basically the Special Use Permit had expired so they had to come back and renew it to a Conditional District to finish out the second phase. She said this was done in 2004 or 2005. She said there have been a couple of lots in the last few years that have been developed so it was not completed. She said she did not think it is completed at this point.

Renee Hartis asked Mr. Mandle about the potential amenity area and if that is where you are going to put the pavilion. Mr. Mandle said yes. Ms. Hartis asked why does it say potential. Mr. Mandle said it should say proposed. He said it has been committed to in the notes and he agreed that it is a misleading word. Ms. Hartis said she thought Mr. Mandle was right about the pool. She said she had lived in a neighborhood with a pool. She said sometimes the clubhouse was pretty convenient and nice. But, she said if you have a pavilion that would be nice too.

Keri said on the actual site plan that was submitted it does not say potential.

Renee Hartis said Eastwood Homes has a very good name of building quality homes.

Jennifer Smith asked Mr. Mandle if Raymond Lancaster in Charlotte is still your preferred attorney. She said he used to do all the legal work for Eastwood Homes. Mr. Robertson said he may have but he is not familiar with that name.

Vice Chair asked if there were any further questions. There were none.

Vice Chair asked for a motion on this proposal.

Motion: Richard Yercheck made a motion to recommend adoption of the Resolution Approving the Land Development Plan Compliance.

Second: John Ashcraft

Action: The motion to recommend adoption of the Resolution Approving the Land Development Plan Compliance passed unanimously.

Vice Chair asked for a motion on the Ordinance amending Section 156.98 – Conditional Districts Established and Section 156.106 – Official Zoning Map.

Motion: Richard Yercheck made a motion to recommend the adoption of the Ordinance amending Section 156.98 - Conditional Districts Established and Section 156.106 - Official Zoning Map.
Second: Jennifer Smith
Action: The motion to recommend adoption passed unanimously.

Item 5. **Schedule of 2021 Planning Board Meetings**

Doug said City Council has changed their meeting schedule to the second Tuesday of each month. He said they typically met the first Tuesday of the month. He said the Planning Board met the first Wednesday after the first City Council meeting. He said Planning Board fell behind City Council because of this. He said it will be easier for Planning Board to still meet the first Wednesday of the month. He said staff is requesting that Planning Board meet the first Wednesday of the month.

Motion: Richard Ali made a motion to schedule the Planning Board meetings on the first Wednesday of each month.
Second: Renee Hartis
Action: The motion was approved unanimously.

Item 6. **Next Meeting – January 6, 2021**

Item 7. **Other**

There was no other business.

Item 8. **Adjournment**

Vice Chair said if there are no further questions, she would entertain a motion at this time to adjourn.

Motion: John Ashcraft made a motion to adjourn the meeting.
Second: Renee Hartis
Action: The motion to adjourn passed unanimously.

The meeting was adjourned at 6:46 p.m.

Respectfully Submitted,

Mary Ann Rasberry, Vice Chair
Planning Board

Maryann Brown
Secretary to the Board



STAFF REPORT

TO: Planning Board Members

DATE: February 3, 2021

FROM: Doug Britt, Senior Planner

PREPARED BY: Lisa Stiwinter, Planning and Development Director

SUBJECT: Annexation of 340.514 acres located along Marion Lee Road, US Highway 601 and White Store Road and further identified with parcel ID numbers 09-125-132 & 09-128-001

SUMMARY STATEMENT

Planning Board is requested to consider the annexation of 340.514 acres located along Marion Lee Road, US Highway 601 and White Store Road and further identified with parcel ID numbers 09-125-132 and 09-128-001.

REVIEW

Stratford Land is requesting annexation of 340.514 acres located along Marion Lee Road, US Highway 601 and White Store Road and further identified with parcel ID numbers 09-125-132 and 09-128-001. The annexation is being requested in order to develop an 820 lot single family residential subdivision.

RECOMMENDATION

Staff recommends approval of the annexation.

Attachments:

Attachment 1- Ortho Map
Attachment 2- Annexation Plat

Ortho Map

Legend

-  Centerlines
-  Parcels
-  City Limits
-  ETJ

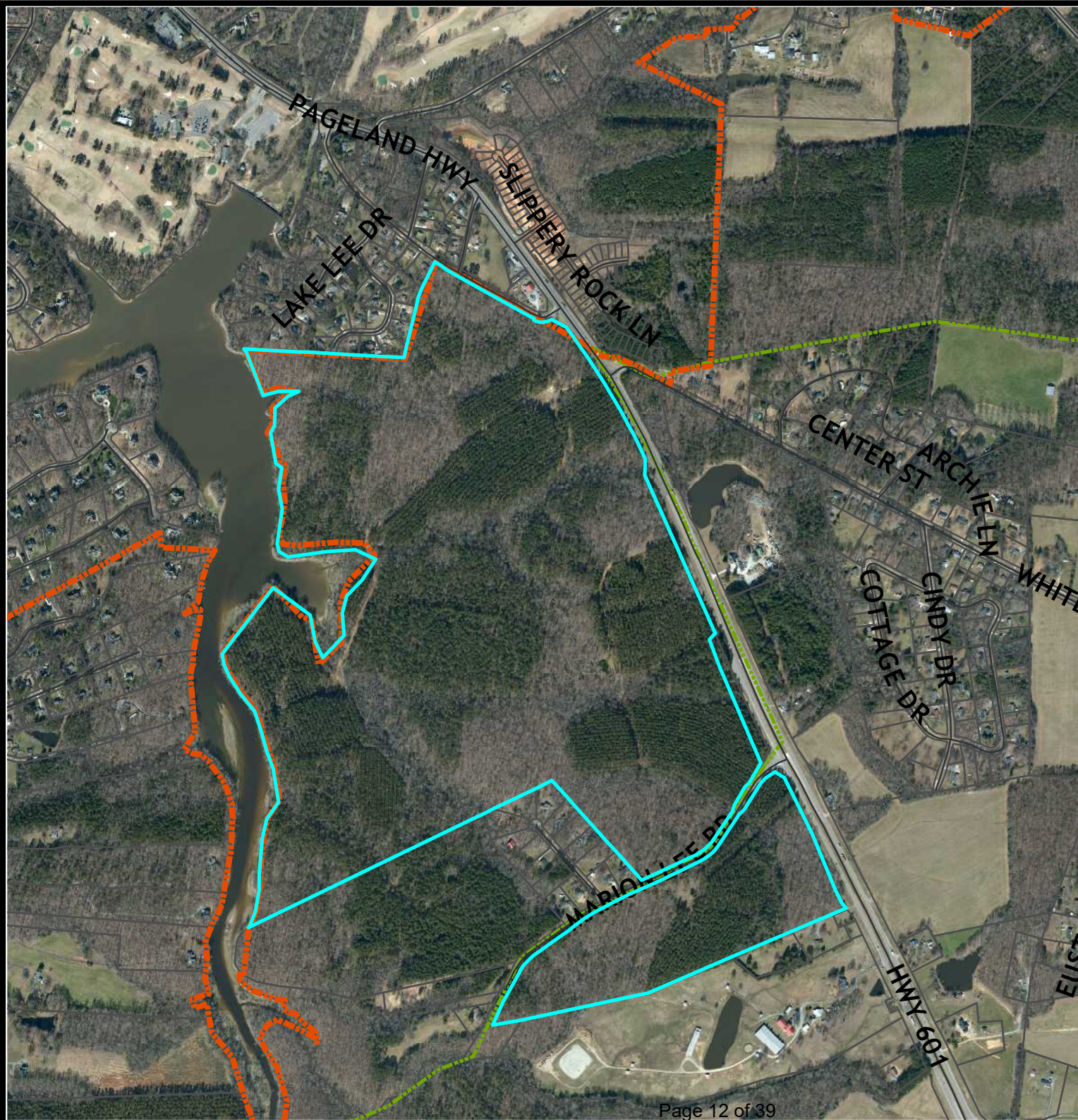
Existing: R-20 (City of Monroe)
and Union County RA-40

Owner: SLF II NC
Lake Lee, LLC

Acres: 340.514



0 920 1,840
Feet

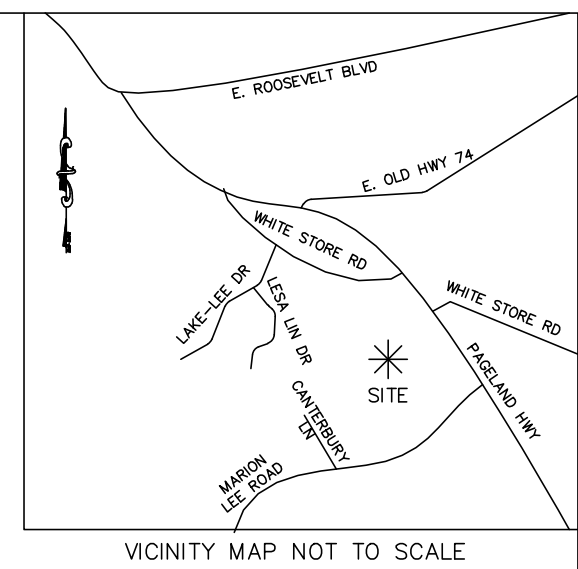
- NOTES:
1. ALL DATA BASED ON THE NORTH CAROLINA GRID SYSTEM NAD '83 (2011). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 2. PROPERTY SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.
 3. THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
 4. ZONED RA-40, RA-20, & CITY
 5. THIS PROPERTY MAY BE SUBJECT TO OTHER EASEMENTS EITHER RECORDED OR IMPLIED.
 6. #5 REBAR SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 7. PARCEL ID# 09125132, 09128001
 8. ACREAGE ON THIS PLAT IS 340.514 ACRES.
 9. TOTAL OF 2 SEPARATE ANNEXATION AREAS.
 10. THIS IS TO CERTIFY THAT THIS SURVEY IS AN ANNEXATION SURVEY, WHICH IS AN EXCEPTION TO THE DEFINITION OF SUBDIVISION: PURSUANT TO GENERAL STATUTE 47-30f.11d

NCGS MONUMENT
'UN 3'
N.C. GRID COORDS.
N 448,399.67
E 1,545,765.10
NAD'83(2011)
COMBINED GRID FACTOR: 0.99986193

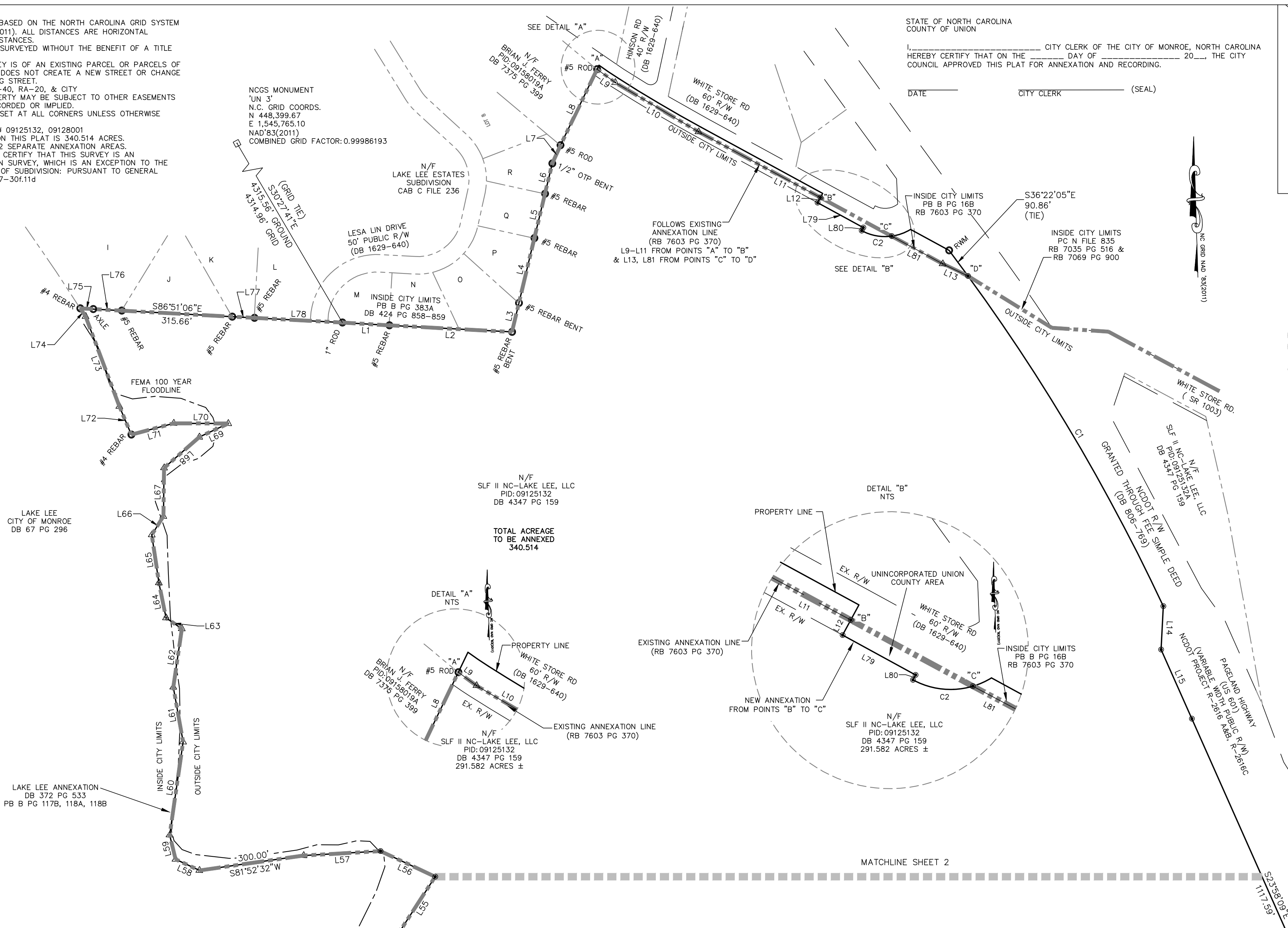
STATE OF NORTH CAROLINA
COUNTY OF UNION

I, _____ CITY CLERK OF THE CITY OF MONROE, NORTH CAROLINA
HEREBY CERTIFY THAT ON THE _____ DAY OF _____ 20____, THE CITY
COUNCIL APPROVED THIS PLAT FOR ANNEXATION AND RECORDING.

DATE _____ CITY CLERK _____ (SEAL)

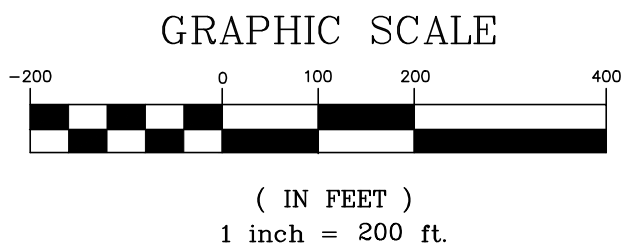


- LEGEND:
- △ - CALCULATED POINT
 - - IRON PIN SET (#5 REBAR)
 - - IRON PIN FOUND, AS NOTED
- R/W - RIGHT OF WAY
RWM - RIGHT OF WAY MARKER
□ - NGS MONUMENT
OTP - OPEN TOP PIPE
TB - TELEPHONE BOX



I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP FOR UNION COUNTY, NORTH CAROLINA, COMMUNITY NUMBER 3710544400J & 37105445400J BOTH DATED OCTOBER 16, 2008, AND HEREBY CERTIFY THAT A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

I, BRYAN P. LACKEY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 4347, PAGE 159); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK _____ PAGE _____; THAT THE RATIO OF PRECISION AS CALCULATED IS $\pm 1:10000$; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____ DAY OF _____ 2020.



SEE SHEET 4 FOR LINE
AND CURVE TABLES
AND ADJOINING
PROPERTY CHART

**ANNEXATION BOUNDARY FOR
THE CITY OF MONROE**
THE PROPERTIES OF SLF II NC-LAKE LEE, LLC
CITY OF MONROE, UNION COUNTY, NC
PARCEL ID #09125132, & 09128001

SURVEYED FOR CURRENT OWNER:
SLF II NC-LAKE LEE, LLC
PO BOX 56607
ATLANTA GA, 30343



R. Joe Harris & Associates, Inc
Engineering • Land Surveying • Planning
Management

1186 STONECREST BLVD, TEGA CAY, S.C. 29708

P: (803) 802-1799

DWG: ANNEXATION PLAT	
PROJECT # 3366	
DATE 12/18/2020	
DWG SCALE 1" = 200'	
PREPARED BY DC	
SURVEYED BY B. LACKEY	
SHEET 1	OF 4

LEGEND:
△ - CALCULATED POINT
● - IRON PIN SET (#5 REBAR)
○ - IRON PIN FOUND, AS NOTED
R/W - RIGHT OF WAY
RWM - RIGHT OF WAY MARKER
□ - NGS MONUMENT
OTP - OPEN TOP PIPE
TB - TELEPHONE BOX

LAKE LEE ANNEXATION
DB 372 PG 533
PB B PG 117B, 118A, 118B

STATE OF NORTH CAROLINA
COUNTY OF UNION

I, _____ CITY CLERK OF THE CITY OF MONROE, NORTH CAROLINA
HEREBY CERTIFY THAT ON THE _____ DAY OF _____ 20____, THE CITY
COUNCIL APPROVED THIS PLAT FOR ANNEXATION AND RECORDING.

DATE _____ CITY CLERK _____ (SEAL)

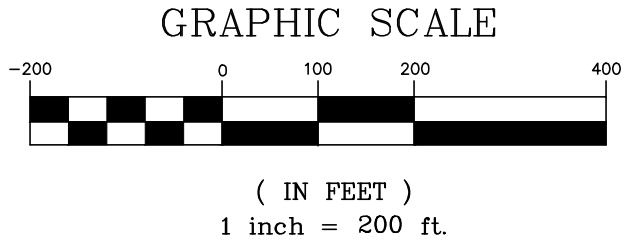
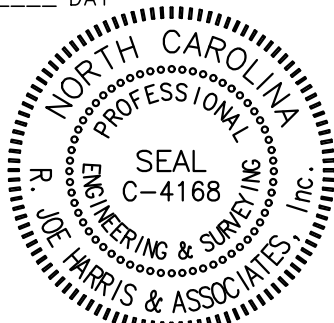
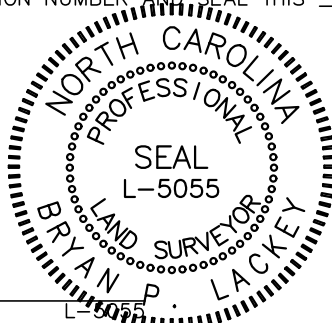


N/F
SLF II NC-LAKE LEE, LLC
PID:09125132
DB 4347 PG 159
(SEE SHEET 1 FOR TOTAL ACREAGE)

N/F
FAMILY ENTERPRISES INC.
PID:09125133
DB 396 PG 202

I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP FOR UNION
COUNTY, NORTH CAROLINA, COMMUNITY NUMBER 3710544400J &
37105445400J BOTH DATED OCTOBER 16, 2008, AND HEREBY
CERTIFY THAT A PORTION OF THIS PROPERTY IS LOCATED IN A
SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY.

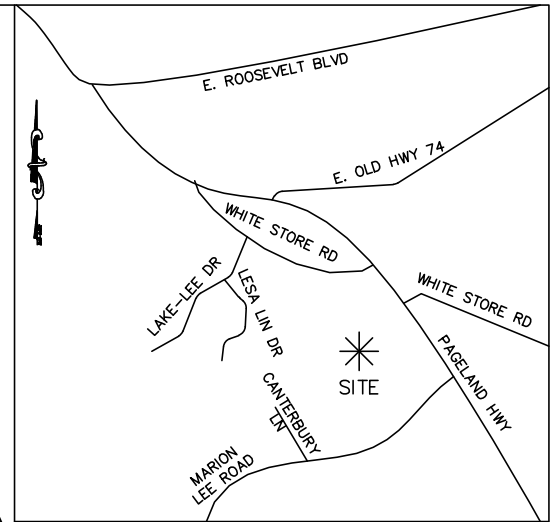
I, BRYAN P. LACKEY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY
SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION
(DEED DESCRIPTION RECORDED IN BOOK 4347, PAGE 159); THAT THE
BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM
INFORMATION FOUND IN BOOK _____ PAGE _____; THAT THE RATIO OF
PRECISION AS CALCULATED IS $\pm 1:10000$; THAT THIS PLAT WAS
PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY
ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____ DAY
OF _____, 2020.



- NOTES:
1. ALL DATA BASED ON THE NORTH CAROLINA GRID SYSTEM
NAD '83 (2011). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 2. PROPERTY SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.
 3. THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A
NEW STREET OR CHANGE AN EXISTING STREET.
 4. ZONED RA-40, RA-20, & CITY
 5. THIS PROPERTY MAY BE SUBJECT TO OTHER EASEMENTS EITHER RECORDED OR IMPLIED.
 6. #5 REBAR SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 7. PARCEL ID# 09125132, 09128001
 8. ACREAGE ON THIS PLAT IS 340.514 ACRES.
 9. TOTAL OF 2 SEPARATE ANNEXATION AREAS.
 10. THIS IS TO CERTIFY THAT THIS SURVEY IS AN ANNEXATION SURVEY, WHICH IS AN
EXCEPTION TO THE DEFINITION OF SUBDIVISION: PURSUANT TO GENERAL STATUTE
47-30F.11D

BRYAN P. LACKEY, PLS

MATCHLINE SHEET 1



VICINITY MAP NOT TO SCALE

NDOT PROJECT R-2616 L&S, R-2616C
(VARIABLE PUBLIC R/W)
PAGE LAND HIGHWAY
GRANTED THROUGH FEE
SMPLE DEED
(DB 184-886)
NDOT R/W IN
S23°17'10"E 833.46'

N/F
JOHN C VICK &
GILES W VICK, III
PID: 9125130
DB 1403 PG 347
02E-595

EX. UNDERGROUND VERIZON
TELEPHONE LINE. WITHIN
MAINTAINED RIGHT OF WAY
OF MARION LEE RD
(UNKNOWN WIDTH AND DEED
BOOK AND PAGE)

SEE SHEET 4 FOR LINE AND CURVE TABLES
AND ADJOINING PROPERTY CHART

**ANNEXATION BOUNDARY FOR
THE CITY OF MONROE**
THE PROPERTIES OF SLF II NC-LAKE LEE, LLC
CITY OF MONROE, UNION COUNTY, NC
PARCEL ID #09125132, & 09128001

SURVEYED FOR CURRENT OWNER:
SLF II NC-LAKE LEE, LLC
PO BOX 56607
ATLANTA GA, 30343



R. Joe Harris & Associates, Inc
Engineering • Land Surveying • Planning
Management

1186 STONECREST BLVD, TEGA CAY, S.C. 29708

P: (803) 802-1799

DWG: ANNEXATION PLAT	
PROJECT # 3366	
DATE 12/18/2020	
DWG SCALE 1" = 200'	
PREPARED BY DC	
SURVEYED BY B. LACKEY	
SHEET 2	OF 4

NOTES:

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STATE OF NORTH CAROLINA
COUNTY OF UNION

I, _____ CITY CLERK OF THE CITY OF MONROE, NORTH CAROLINA
HEREBY CERTIFY THAT ON THE _____ DAY OF _____ 20____, THE CITY
COUNCIL APPROVED THIS PLAT FOR ANNEXATION AND RECORDING.

DATE _____ CITY CLERK _____ (SEAL)

N/F
JOHN C VICK &
GILES W VICK, III
PID: 9125130
DB 1403 PG 347
02E-595

EX. UNDERGROUND VERIZON
TELEPHONE LINE, WITHIN
MAINTAINED RIGHT OF WAY
OF MARION LEE RD
(UNKNOWN WIDTH AND DEED
BOOK AND PAGE)

ASSUMED 30' OVERHEAD DUKE
POWER ELECTRIC EASEMENT
DEED BOOK AND
PAGE UNKNOWN

N/F
SLF II NC-LAKE LEE, LLC
PID: 09128001
DB 4347 PG 159
TRACT 2
(SEE SHEET ONE FOR
TOTAL ACREAGE)

N/F
NC DEPT OF TRANSPORTATION
RIGHT WAY OF DEPT.
PID: 09128002
DB 1017 PG 559

N/F
BETTY A BROWN
PID: 09128003
DB 274 PG 489

N/F
NC DEPT OF TRANSPORTATION
RIGHT WAY OF DEPT.
PID: 09128002A
DB 1026 PG 658

N/F
BETTY A BROWN
PID: 09128003A
DB 382 PG 268

N/F
THOMAS F. RITZ AND WIFE,
BARBARA A. RITZ
PID: 09128004
DB 1277 PG 637

N/F
ETHEL MORGAN THOMAS,
TRUSTEE OF THE ETHEL
MORGAN THOMAS LIVING TRUST
DATED MARCH 7, 2008
PID: 09128006
DB 7554 PG 259
ESTATE FILE# 20E-611

N/F
THOMAS BRADY GENE
PID: 09128006A
DB 7299 PG 367

N/F
ETHEL MORGAN THOMAS,
TRUSTEE OF THE ETHEL
MORGAN THOMAS LIVING TRUST
DATED MARCH 7, 2008
PID: 09128006B
DB 4850 PG 263
ESTATE FILE# 20E-611

N/F
OLD PLACE LLC
PID: 09128005
DB 4760 PG 500

I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP FOR UNION
COUNTY, NORTH CAROLINA, COMMUNITY NUMBER 3710544400J &
37105445400J BOTH DATED OCTOBER 16, 2008, AND HEREBY
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OF _____ 2020.

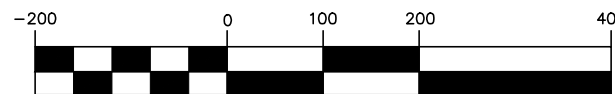


BRYAN P. LACKEY, PLS

NC GRID MAP 83(2011)

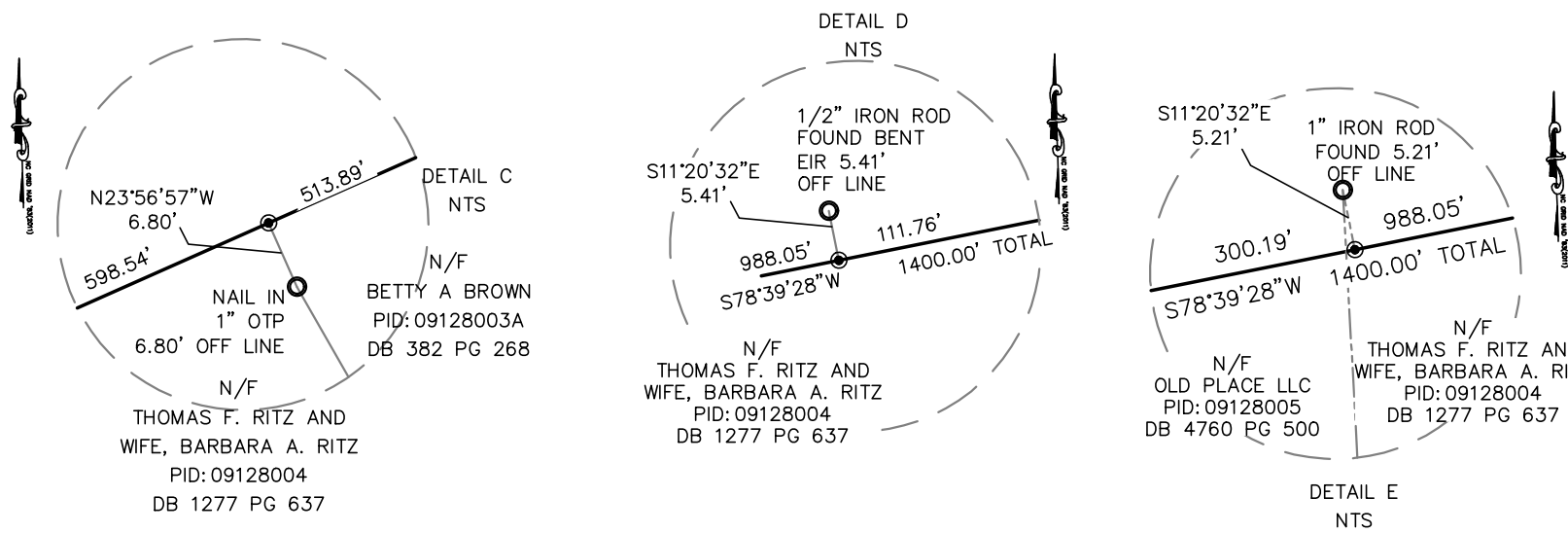
- LEGEND:
- △ - CALCULATED POINT
 - - IRON PIN SET (#5 REBAR)
 - - IRON PIN FOUND, AS NOTED
- R/W - RIGHT OF WAY
RWM - RIGHT OF WAY MARKER
□ - NGS MONUMENT
OTP - OPEN TOP PIPE
TB - TELEPHONE BOX

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

SEE SHEET 4 FOR LINE AND CURVE TABLES
AND ADJOINING PROPERTY CHART



**ANNEXATION BOUNDARY FOR
THE CITY OF MONROE**
THE PROPERTIES OF SLF II NC-LAKE LEE, LLC
CITY OF MONROE, UNION COUNTY, NC
PARCEL ID #09125132, & 09128001

SURVEYED FOR CURRENT OWNER:
SLF II NC-LAKE LEE, LLC
PO BOX 56607
ATLANTA GA, 30343



R. Joe Harris & Associates, Inc
Engineering • Land Surveying • Planning
Management

1186 STONECREST BLVD, TEGA CAY, S.C. 29708

P: (803) 802-1799

DWG:	ANNEXATION PLAT
PROJECT #	3366
DATE	12/18/2020
DWG SCALE	1" = 200'
PREPARED BY	DC
SURVEYED BY	B. LACKEY
SHEET	OF
3	4

- NOTES:
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- A. N/F
PID: 09125138
TYLER E HEFNER
DB 7421 PG 350
- B. N/F
PID: 09125140
TERRY L MOORE & WIFE,
ELLEN A MOORE
DB 1368 PG 261
- C. N/F
PID: 09125141
TERRY L MOORE & WIFE,
ELLEN A MOORE
DB 398 PG 616
- D. N/F
PID: 09125142
TERRY L MOORE & WIFE,
ELLEN A MOORE
DB 398 PG 616
- E. N/F
PID: 09125143
LLOYD TIMOTHY MCCLAIN
DB 5872 PG 732
- F. N/F
PID: 09125144
DANNY NEAL HINSON
& ELLEN LOUISE
HINSON, TRUSTEES
DB 7530 PG 318
- G. N/F
PID: 09125145
PETER TOWNSEND OCHS
& SUSAN CARRIE OCHS
DB 6845 PG 90
- H. N/F
PID: 09125146
PETER TOWNSEND OCHS
& SUSAN CARRIE OCHS
DB 6845 PG 92
- I. N/F
PID: 09161055
RODNEY J PURSER
DB 498 PG 775
- J. N/F
PID: 09161054
MARY A NASH
DB 1579 PG 728
- K. N/F
PID: 09161053
ANA LAURA
HERNANDEZ
CABALLERO
DB 5389 PG 65
- L. N/F
PID: 09161042
AUDREY D BALES
& SUSAN E BALES
DB 1635 PG 237
- M. N/F
PID: 09161041
CALVIN D MILLER & WIFE,
JANET W MILLER
DB 484 PG 44
- Q. N/F
PID: 09161037
2018-2 IH BORROWER LP
DB 7152 PG 556
- R. N/F
PID: 09161036
SHELLY STITELER
DB 6586 PG 870
- N. N/F
PID: 09161040
ALLAN M. LEGETTE &
WIFE, VIVAN LEGETTE
DB 4234 PG 317
- O. N/F
PID: 09161039
JONATHAN PURSER &
WIFE, JENNIFER PURSER
DB 3955 PG 395
- P. N/F
PID: 09161038
SHERRY BARE
DB 5880 PG 298

I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP FOR UNION COUNTY, NORTH CAROLINA, COMMUNITY NUMBER 3710544400J & 37105445400J BOTH DATED OCTOBER 16, 2008, AND HEREBY CERTIFY THAT A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

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BRYAN P. LACKEY, PLS

L-5055

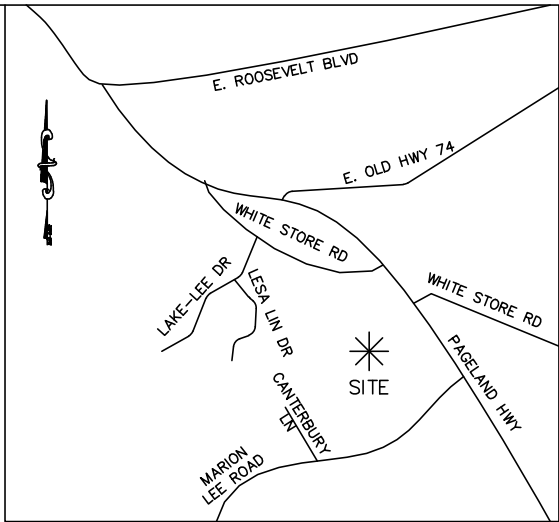
STATE OF NORTH CAROLINA
COUNTY OF UNION

I, _____ CITY CLERK OF THE CITY OF MONROE, NORTH CAROLINA
HEREBY CERTIFY THAT ON THE _____ DAY OF _____ 20____, THE CITY
COUNCIL APPROVED THIS PLAT FOR ANNEXATION AND RECORDING.

DATE

CITY CLERK

(SEAL)



VICINITY MAP NOT TO SCALE

Line Table		
Line #	Length	Direction
L1	134.07	S86°37'27"E
L2	350.21	S86°54'37"E
L3	84.75	N13°24'53"E
L4	190.15	N13°25'24"E
L5	130.05	N13°26'14"E
L6	88.69	N13°33'08"E
L7	56.94	N24°21'49"E
L8	240.49	N25°40'20"E
L9	64.28	S53°44'46"E
L10	275.93	S59°25'23"E
L11	394.67	S61°40'16"E
L12	16.68	S28°34'25"W
L13	79.99	S64°18'33"E
L14	123.91	S2°51'51"W
L15	215.43	S23°58'17"E
L16	63.45	S42°33'20"W
L17	221.09	S20°11'03"E
L18	103.12	S40°00'10"W
L19	111.77	S31°51'27"W
L20	23.93	S58°05'53"E

Line Table		
Line #	Length	Direction
L21	35.99	S58°05'50"E
L22	111.92	N31°55'59"E
L23	105.98	N47°19'52"E
L24	70.82	N87°50'39"E
L25	435.79	S26°59'48"E
L26	274.56	N30°32'53"E
L27	32.02	N41°58'44"W
L28	311.99	N41°57'00"W
L29	134.14	N41°57'00"W
L30	268.04	N42°03'05"W
L31	308.60	N41°57'28"W
L32	139.77	S63°58'53"W
L33	59.55	S64°04'40"W
L34	138.94	N21°46'32"E
L35	166.00	N9°38'32"E
L36	108.00	N0°20'32"E
L37	148.87	N12°48'36"E
L38	155.70	N34°57'32"E
L39	261.60	N8°46'28"W
L40	139.20	N20°16'28"W

Line Table		
Line #	Length	Direction
L41	165.00	N15°52'28"W
L42	157.00	N18°28'28"W
L43	170.20	N39°00'28"W
L44	160.30	N32°24'28"W
L45	103.50	N25°07'28"W
L46	82.69	N9°22'36"W
L47	312.00	S53°12'28"E
L48	42.70	S54°42'28"E
L49	210.00	S10°57'28"E
L50	135.10	S25°47'28"E
L51	235.40	N43°20'32"E
L52	175.00	N4°27'28"W
L53	135.20	N15°32'32"E
L54	171.00	N43°32'32"E
L55	188.00	N32°52'32"E
L56	172.00	N64°57'28"W
L57	219.50	S86°42'32"W
L58	75.00	N64°57'28"W
L59	71.20	N13°47'28"W
L60	268.30	N8°12'32"E

Line Table		
Line #	Length	Direction
L61	158.50	N10°07'28"W
L62	168.10	N8°19'32"E
L63	54.60	N55°39'28"W
L64	101.90	N11°28'28"W
L65	138.40	N8°27'28"W
L66	62.50	N32°00'32"E
L67	137.80	N0°49'32"E
L68	133.20	N48°47'32"E
L69	91.20	N64°52'32"E
L70	155.50	N89°47'28"W
L71	125.11	S75°05'26"W
L72	87.00	N22°49'14"W
L73	274.00	N20°36'28"W
L74	27.70	N33°19'28"W
L75	36.82	S86°52'43"E
L76	81.50	S86°52'53"E
L77	63.39	S86°58'04"E
L78	250.92	S86°56'30"E
L79	148.18	S61°25'35"E
L80	10.00	S28°34'25"W

Line Table		
Line #	Length	Direction
L81	165.44	S61°32'40"E

Curve Table					
Curve #	Length	Radius	Chord	Bearing	Delta
C1	1094.90	5669.58	1093.20	S30°36'48"E	11°03'54"
C2	88.70	140.00	87.22	S79°34'41"E	36°18'00"

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

**ANNEXATION BOUNDARY FOR
THE CIT Y OF MONROE**
THE PROPERTIES OF SLF II NC-LAKE LEE, LLC
CITY OF MONROE, UNION COUNTY, NC
PARCEL ID #09125132, & 09128001

SURVEYED FOR CURRENT OWNER:
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P: (803) 802-1799

DWG: ANNEXATION PLAT	
PROJECT # 3366	
DATE 12/18/2020	
DWG SCALE 1" = 200'	
PREPARED BY DC	
SURVEYED BY B. LACKEY	
SHEET 4	OF 4



STAFF REPORT

TO: Planning Board Members

DATE: February 3, 2021

FROM: Lisa Stiwinter, Director of Planning & Development

PREPARED BY: Doug Britt, Senior Planner

SUBJECT: Zoning Map Amendment and text amendment request for Conditional District “The Greenway at Lake Lee” (Parcel ID #'s: 09-125-132 & 09-128-001)

SUMMARY STATEMENT

The Planning Board is requested to consider a zoning map and text amendment for the properties located along Marion Lee Road, US Highway 601 and White Store Road and further identified as tax parcel #'s 09-125-132 & 09-128-001. The request is to annex and rezone the properties from R-20 City of Monroe and RA-40 (Union County Residential Low Density) to Conditional District (CD) “The Greenway at Lake Lee”.

REVIEW

The applicant, Stratford Land is requesting a conditional district rezoning in order to develop an 820 lot residential subdivision that will consist of both single-family attached and detached homes as well as a commercial area that is identified for future development. The total area being requested to be annexed is 340.514 acres, which includes approximately 2.48 acres of NCDOT right-of-way. The area of the project is 338.026 acres, which includes 15.13 acres identified for future commercial development. The residential portion of the project that is being proposed for development totals 322.896 acres. The common open space being provided for this project is 47% or 151.17 acres. The area identified as commercial would be required to be processed as an amendment to the conditional district if the project is approved.

AREA CHARACTERISTICS

Adjoining Land Uses and Zoning District

	Existing Uses	Zoning District
North	Commercial & Single-Family Residential	R-20, Office Transitional (OT) & Conditional District “Oakton/Cottage Green” City of Monroe
East	Commercial, Single-Family Residential and Vacant	RA-20 & RA-40 Union County
South	Single-Family Residential and Vacant	R-20 City of Monroe & RA-40 Union County (Single Family Residential)
West	Single-Family Residential and Lake Lee	R-20 City of Monroe

Proposal

The applicant is requesting a conditional district rezoning in order to develop an 820 lot residential subdivision that will consist of both single-family attached and detached homes with approximately 47% or 151.17 acres of open space. The minimum lot size for the single family attached townhome lots will be 2,200 square feet with an average of 2,225 square feet. The lot sizes for the single family detached lots will range from approximately 5,300 square feet to 14,000 square feet with an average of 7,600 square feet. The minimum heated square footage of the single family attached townhomes will be 1,360 square feet excluding the garage and the single family detached homes will be 1,600 square feet.

REQUIREMENTS

Density & Dimensional Standards

The density of the total project is 2.54 units per acre.

Setbacks

Single Family Attached Townhome Units

Front/Corner: 20 ft.

Side (end units): 20 ft.

Rear: 0 ft.

Single Family Detached Units

Front: 20 ft.

Corner: 10 ft.

Side: 5 ft.

Rear: 20 ft.

Zoning District	Maximum Allowable Density
R-40	1 units per acre
R-20	2 units per acre

Elevations

The exterior building materials for the proposed project will consist of brick, fiber cement, stone and stucco. The developer is proposing the front façade to consist of at least twenty-five (25%) brick or stone. Vinyl will only be used for eaves, soffits, trim and windows. The minimum heated square footage as proposed for the single family attached townhomes will be 1,360 square

feet excluding the garage and the minimum square footage for the single family detached homes will be 1,600 square feet. The homes constructed on slab foundations will be provided with a brick or stone water table that extends at least 18 inches above the finished floor on the front and side facades. The developer is encouraging side load garages for this project where they are appropriate, however no commitment for a specific number has been provided. All garages will be furnished with carriage style hardware and/or windows along the top with the exception of side load garages.

Landscaping

All single family homes will have sodded front yards prior to the issuance of the certificate of occupancy. The applicant is proposing for each forty-one (41) foot wide lot to have one (1) yard tree and each fifty-one (51)/sixty-one (61) foot wide lot to have two (2) front yard trees at the time of the certificate of occupancy.

Street trees will be provided at a rate of one (1) tree per two (2) single family attached townhome buildings, but in no case shall the trees be spaced more than fifty (50) feet apart on average throughout the development. The street tree layout and planting schedule will be finalized during the construction plan review.

Street trees will be provided at a rate of one (1) tree per single family detached lot but in no case shall the trees be spaced more than fifty (50) feet apart on average throughout the development. The street tree layout and planting schedule will be finalized during the construction plan review.

Additionally, the ordinance requires multi-family projects provide a fifty-foot (50) landscape buffer around the perimeter of the townhome portion of the project. The developer is proposing to utilize the existing tree canopy as well as supplemental landscaping to provide a buffer for the townhomes.

Open Space and Amenities

The project is required to provide at least 12.5% open space for the land area of the residential portion of the project which would equal 40.3 acres. The applicant is providing 47% or 151.17 acres of open space. The developer is proposing six (6) amenity areas for the project. Four (4) areas are proposed as active areas and two (2) areas are proposed as passive. The passive amenity areas will include features such as arbor/sitting areas, bike racks, fitness stations, and landscaping. The active areas are to include the following features: benches, bike racks, 1,400 square foot cabana with bathrooms, children's playground equipment, fitness stations, general purpose field, landscaping, and a swimming pool.

Parking

The interior units of the single family attached townhomes will be provided with a one (1) car garage while the end units will have two (2) car garages. All single family detached homes will be provided with a two (2) car garage. All driveways of both the single family attached townhomes and detached homes will have driveways that can accommodate at least two (2) vehicles. The developer is encouraging side load garages for this project where they are appropriate, however no commitment for a specific number has been provided. All garages will be furnished with carriage style hardware and/or windows along the top with the exception of any side load garages.

The ordinance requires multi-family projects provide parking at a rate of one (1) space per bedroom plus an additional ½ space per unit. Based on fifty (50) two-bedroom townhome units and fifty (50) three-bedroom townhome units and there would be a total of three hundred (300) parking spaces required for the single family attached townhome portion of the project. The applicant is proposing for each interior townhome unit to have a one (1) car garage and each end townhome unit to be provided with a two (2) car garage as well as a paved driveway for both types of units that will accommodate at least two (2) vehicles for a total of three hundred forty-two (342) parking spaces based on the proposed site plan. Additionally, the developer is proposing a visitor parking lot with twenty-six (26) parking spaces for an overall total of three hundred sixty-eight (368) parking spaces for the townhome portion of the project.

Schools

The proposed 820 single family lot subdivision (100 single family attached townhomes and 720 detached homes) will be within the following school attendance areas for the current school year:

Rock Rest Elementary	Currently at 88% rated capacity
East Union Middle	Currently at 68% rated capacity
Forest Hills High	Currently at 61% rated capacity

Although the above schools are the current assignments for this area, the Union County Public Schools Board of Education has the obligation and reserves the right to modify assignments in order to optimize facility utilization and efficiency. The only other major development in the Forest Hills cluster is Cottage Green, nearly across the street, with 218 additional units. It is not expected that this development will adversely affect enrollments at the above schools.

Sidewalk

The developer is proposing to install five (5) ft. wide sidewalks on both sides of the interior streets as well as an eight (8) ft. wide sidewalk along the property frontage of Marion Lee Road, White Store Road and US Highway 601.

Stormwater

The applicant will be required to provide stormwater management to treat the stormwater runoff for the project. The stormwater will be evaluated and reviewed, if the project is approved by City Council, at the building permit stage of the process. The location, size and type of storm water management systems depicted on the rezoning plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and actual site discharge points. At the time of site plan submittal, site will meet stormwater management requirements in accordance with Chapter 159 Stormwater Management Ordinance of the Monroe Code of Ordinances.

Stream Buffer/Flood Plain

There is a minimal amount of flood plain (less than an acre) within the project that the developer is reserving as open space. All streams located on the site have been provided with a 50 ft.

undisturbed stream buffer on both sides as required by the ordinance. Additionally, there will not be any development within the flood plain.

Transportation

The developer is proposing for all streets to be constructed to the City of Monroe street standards and maintained by the City of Monroe. A traffic impact study was completed for this project and was reviewed by both the City of Monroe Engineering Department and the North Carolina Department of Transportation (NCDOT). The required transportation improvements for the project are as follows:

US 74 AND US 601

- Eastbound right-turn lane along US 74 with 325' of storage
- Westbound left-turn lane along US 74 with 175' of storage
- Restriping of the island/two-way left-turn lane along US 601 to create a third northbound left-turn lane along US 601 will be pursued if geometrically feasible. Conceptually, this appears to be feasible as a restriping of the existing pavement.

US 601 AND WHITE STORE ROAD NORTH

- Southbound right-turn lane along US 601 at White Store Road North with 100' of storage
- Eastbound right-turn lane along White Store Road North at US 601 with 100' of storage

WHITE STORE ROAD NORTH AND ACCESS 6

- Single ingress and egress lane along Access 6 with a 275-foot internal protected stem

US 601 AND WHITE STORE ROAD/ACCESS 1

- Northbound left-turn lane along US 601 with 125' of storage
- Southbound left-turn lane along US 601 with 325' of storage
- Westbound left-turn lane along White Store Road with 50' of storage
- Westbound right-turn lane along White Store Road with 100' of storage
- Eastbound left-turn lane along Access 1 (continuous)
- Eastbound through/right lane along Access 1 with 125' of storage
- 375-foot IPS along Access 1 In order to achieve a 375-foot IPS,

MARION LEE ROAD AND ACCESS 2/ACCESS 3

- Single ingress and egress lane along Accesses 2/3 with a 100-foot internal protected stem

MARION LEE ROAD/ACCESS 4/ACCESS 5

- Single ingress and egress lane along Accesses 4/5 with a 100-foot internal protected stem.

LAND DEVELOPMENT PLAN CONSISTENCY

The Land Development Plan indicates this area is located in the Suburban Land Use category. While residential uses typically take the form of neighborhoods with uniform housing types and densities, a mix of housing types and lot sizes is preferred in Suburban locations. Single family

attached and detached is suitable in the suburban land use category. Commercial development mostly serves the needs of nearby residents and often locates along corridors with higher traffic volumes and near prominent intersections. Emphasis should be placed on integrating the design of commercial centers with surrounding neighborhoods. Multimodal connectivity between neighborhoods and to nearby center also should be emphasized. Strategic connections to the off-street multi-use trail network are preferred and open space should be preserved in both active and passive forms within neighborhoods. The density for suburban residential is 2-4 units per acre.

Planning staff is of the opinion the development pattern of single family residential at this location is consistent with the Land Development Plan at 2.54 units per acre and is a reasonable use due to the project being located within a mile of a neighborhood mixed use center located at the intersection of E. Roosevelt Boulevard and Highway 601.

PUBLIC NOTIFICATION

The applicant sent a notification letter to the property owners within 200 feet of the subject property and held a neighborhood meeting on Thursday, September 3rd to discuss the project. There were approximately 15 people in attendance for the meeting.

A rezoning notification sign will be posted 10 days prior to the public hearing.

An official rezoning notification letter will be sent to the adjacent property owners located within 150 feet, 10 days prior to the public hearing.

RECOMMENDATION

Planning staff recommends approval of Conditional District “The Greenway at Lake Lee”.

Planning Board will need to take action on the following items:

1. *Motion to recommend adoption of Resolution Approving/Denying Land Development Compliance;*

If the Resolution of Land Development Plan Compliance is recommended for approval, the Planning Board will also need to make the following motions:

1. *Motion to recommend adoption of the Ordinance amending section 156.98- Conditional Districts Established, and*
2. *Motion to recommend adoption of the Ordinance amending section 156.106- Official Zoning Map*

If the Resolution of Land Development Plan Compliance is recommended for denial, the Planning Board will also need to make the following motions:

Motion to recommend denial of the zoning map amendment

Attachments:

Attachment 1-Ortho Map
Attachment 2-Zoning Map
Attachment 3-Site Plan & Elevations
Attachment 4-Future Land Use Map
Attachment 5-FLUM Description
Attachment 6-Resolution Approval
Attachment 7-Resolution Denial
Attachment 8 &9-Ordinances

Ortho Map

Legend

-  Centerlines
-  Parcels
-  City Limits
-  ETJ

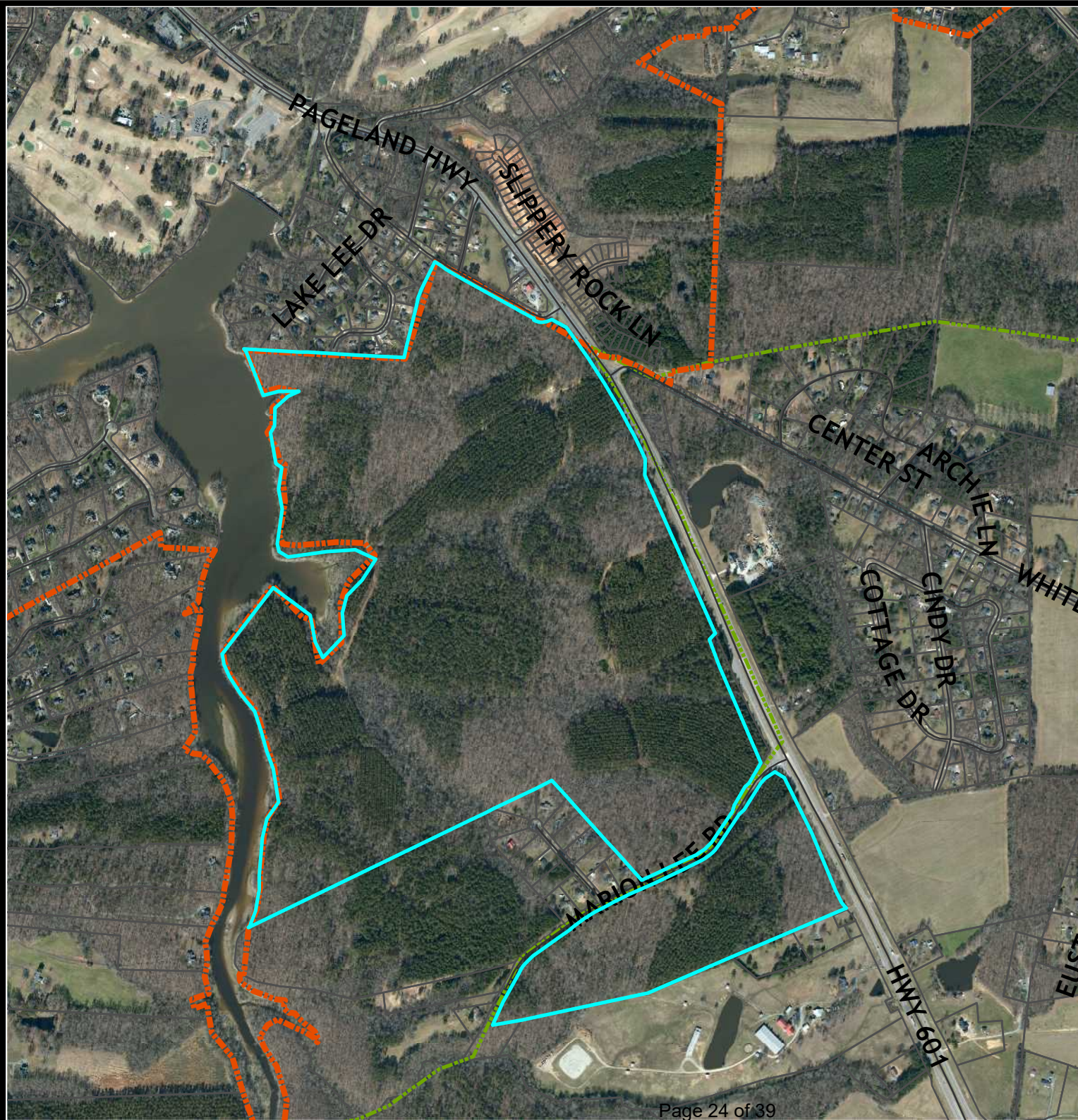
Existing: R-20 (City of Monroe)
and Union County RA-40

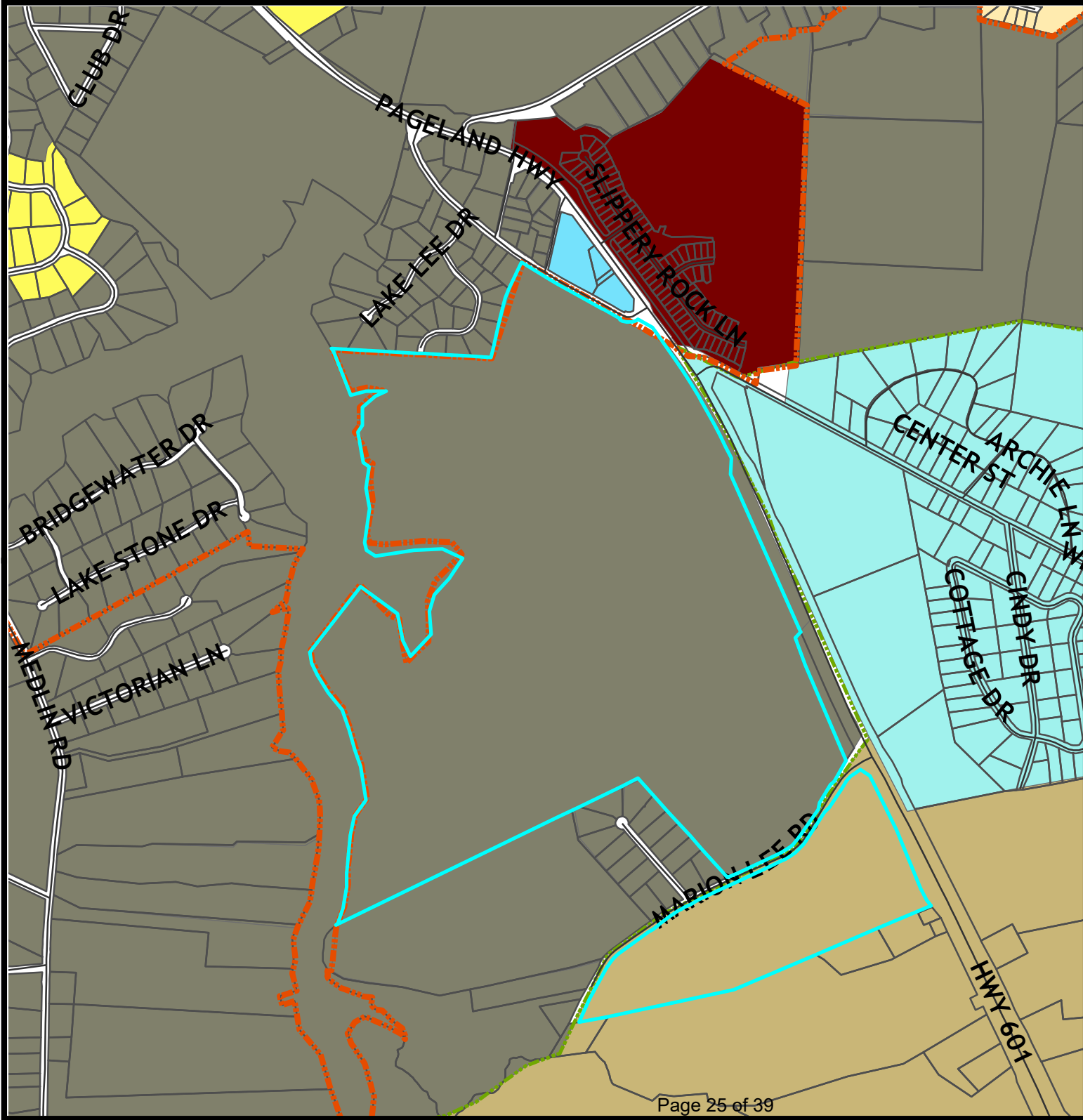
Owner: SLF II NC
Lake Lee, LLC

Acres: 340.514



0 920 1,840
Feet



Zoning Map

CD Greenway at Lake Lee

Legend

- Centerlines
- Parcels
- City Limits
- ETJ

Zoning Districts

Code

- R-20
- R-10
- R-10SU
- OT
- GB
- CD

UC Zoning Districts

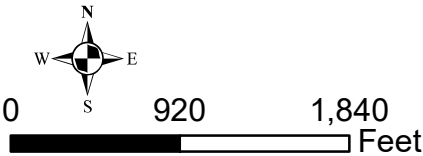
ZONE

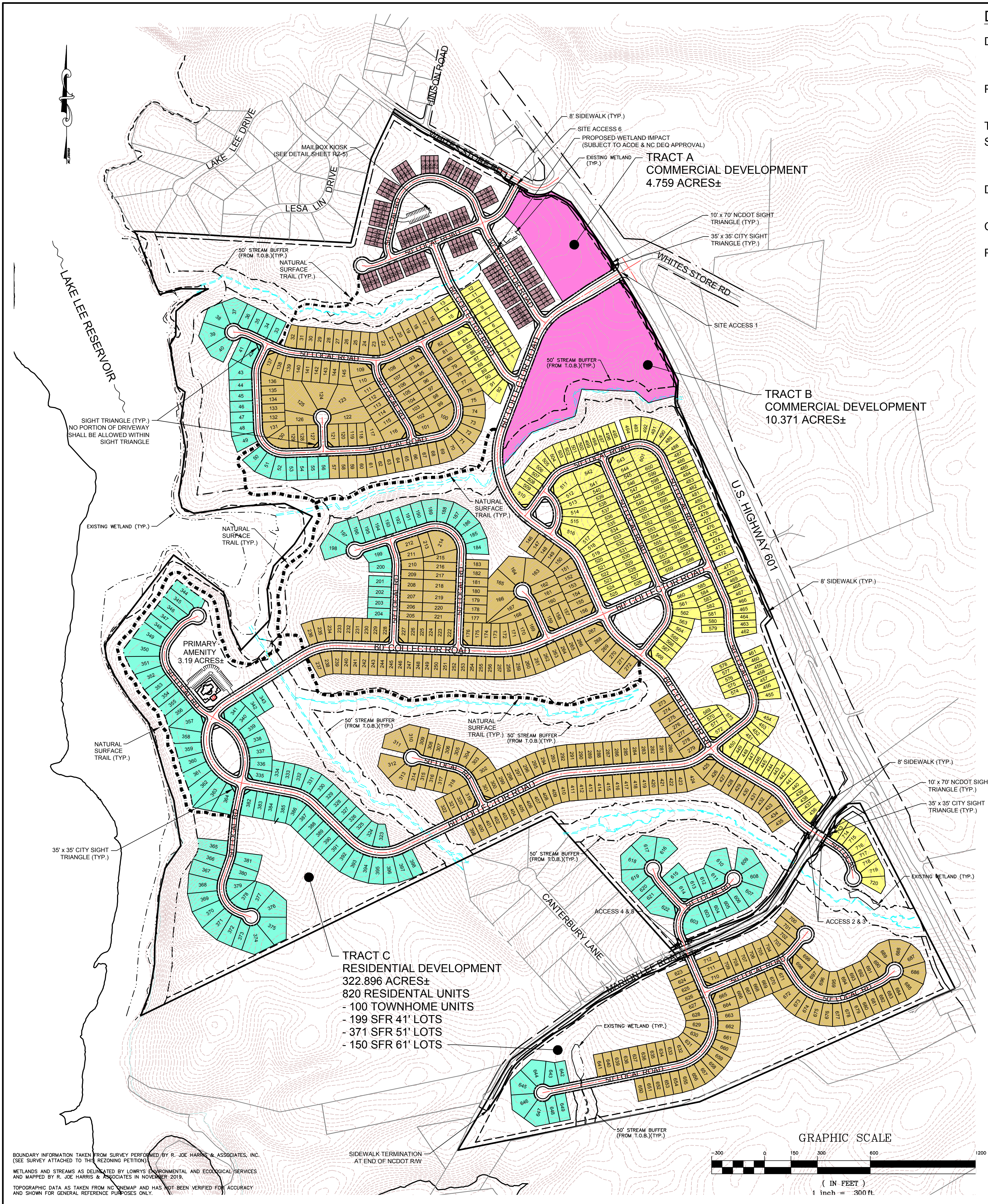
- RA-20
- RA-40

Existing: R-20 City of Monroe
and Union County RA-40

Owner: SLF II NC
Lake Lee, LLC

Acres: 340.514





DEVELOPER & PROPERTY OWNER INFORMATION:

DEVELOPER: STRATFORD LAND
3400 PEACHTREE ROAD, SUITE 650
ATLANTA, GEORGIA 30326
ATTN: ROBYN STOKES

PROPERTY OWNER: SLF II NC LAKE LEE, LLC
P.O. BOX 56807
ATLANTA, GEORGIA 30343

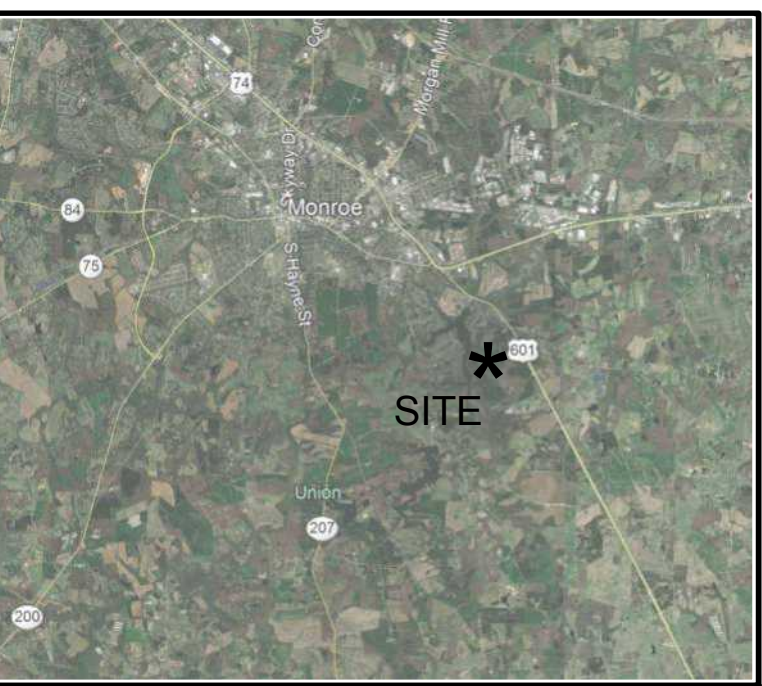
TAX PARCELS: 09125132, 09128001

SITE ACREAGE: 09125132 - 291.903 ACRES± (1.033 AC. IN NCDOT R/W)
09128001 - 49.046 ACRES± (1.890 AC. IN NCDOT R/W)
TOTAL ACRES = 340.949 ACRES
NET ACREAGE = 338.026 ACRES (LESS NCDOT R/W)

DENSITY: COMMERCIAL ACREAGE = 15.130 ACRES
RESIDENTIAL ACREAGE = 322.896 ACRES
DENSITY = 820 UNITS / 322.896 ACRES = 2.54 UNITS/ACRE

CURRENT ZONING: 09125132 | R-20 (MONROE ETJ)
09128001 | RA-40 (UNION COUNTY)

PROP. ZONING: CONDITIONAL DISTRICT "THE GREENWAY AT LAKE LEE"



VICINITY MAP - N.T.S.

- FUTURE DEVELOPMENT (COMMERCIAL)
- ATTACHED SFR UNITS (TOWNHOMES) - 100 UNITS
- DETACHED SFR - 41' WIDE LOTS - 199 UNITS
- DETACHED SFR - 51' WIDE LOTS - 371 UNITS
- DETACHED SFR - 61' WIDE LOTS - 150 UNITS

SEE SHEET RZ-2 FOR THE FOLLOWING INFORMATION:
- MASTER PHASING
- LOT DEVELOPMENT STANDARDS
- ADJACENT PARCEL INFORMATION

SEE SHEET RZ-4 FOR CITY OF MONROE GENERAL CONDITIONS
COMMUNITY ARCHITECTURAL STANDARDS

SEE ANNEXATION PLAT FOR BOUNDARY INFORMATION
(BEARING & DISTANCES) - NOT SHOW ON RZ-1 FOR CLARITY
PURPOSES

CITY OF MONROE STANDARD NOTES & CONDITIONS

- 1.0 PROPOSED REZONING FROM R-20/RA-40 TO CONDITIONAL DISTRICT "THE GREENWAY AT LAKE LEE".
- 2.0 PROPOSED ROADS WILL BE PUBLIC, SUBJECT TO CITY OF MONROE ACCEPTANCE POLICIES AND PROCEDURES.
- 3.0 MINIMUM LOT SIZE FOR ATTACHED SINGLE FAMILY UNITS (TOWNHOMES) WILL BE 2,200 SQ.FT. (AVERAGE LOT SIZE = 2,225 SQ.FT.±). MINIMUM LOT SIZE FOR DETACHED SINGLE FAMILY UNITS WILL BE 5,300 SQ.FT. (AVERAGE LOT SIZE = 7,611 SQ.FT.±).
- 4.0 EXTERIOR MATERIALS SHALL BE LIMITED TO A MIX OF FIBER CEMENT, STONE, STUCCO, AND/OR BRICK MATERIALS.
- 5.0 MINIMUM HEATED SQUARE FOOTAGE FOR ATTACHED SINGLE FAMILY UNITS = 1,360 SQ.FT. MINIMUM HEATED SQUARE FOOTAGE FOR DETACHED SINGLE FAMILY UNITS = 1,600 SQ.FT.
- 6.0 STREET TREES (IN DESIGNATED PLANTING STRIP - SEE STREET CROSS SECTION DETAILS) SHALL BE PLANTED AT A RATE OF ONE (1) PER TWO (2) ATTACHED BUILDING UNITS, BUT IN NO CASE BE SPACED 50 FEET APART (AVERAGE) WHEN ADJACENT TO COMMON FRONTAGE AREAS. THERE SHALL BE NO TREES WITHIN 35 FEET OF INTERSECTIONS FOR SIGHT/SAFETY PURPOSES.
STREET TREES (IN DESIGNATED PLANTING STRIP - SEE STREET CROSS SECTION DETAILS) SHALL BE PLANTED AT A RATE OF ONE (1) PER TWO (2) ATTACHED BUILDING UNITS, BUT IN NO CASE BE SPACED FURTHER THAN 50 FEET APART (AVERAGE), INCLUDING COMMON FRONTAGE AREAS WHERE NO UNITS ARE PRESENT.
STREET TREES SHALL BE MINIMUM OF 1-1/2 INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GRADE AND SHOULD BE A VARIETY OF SPECIES. STREET TREES ADJACENT TO LOTS TO BE PLANTED DURING HOME CONSTRUCTION.
- 7.0 FRONT YARD TREES SHALL BE PROVIDED FOR RESIDENTIAL UNITS AS FOLLOWS (IN ADDITION TO STREET TREES):
- 41 FEET WIDE SINGLE FAMILY DETACHED LOTS SHALL PLANT ONE (1) TREE
- 51 FEET & 61 FEET WIDE SINGLE FAMILY DETACHED LOTS SHALL PLANT TWO (2) TREES
TREES SHALL BE SUITABLE FOR HEALTHY GROWTH FOR THE AREA CLIMATE AND SHALL BE MINIMUM OF 1-1/2 INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GRADE.
- 8.0 ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE, ASPHALT, OR BRICK PAVERS FROM THE ROAD TO THE GARAGE AND SHALL ACCOMMODATE A MINIMUM OF TWO (2) VEHICLES OUTSIDE OF THE GARAGE FOR SINGLE FAMILY ATTACHED AND DETACHED HOMES.
- 9.0 ALL DETACHED SINGLE FAMILY HOMES SHALL HAVE A TWO (2) CAR ATTACHED GARAGE.
ALL ATTACHED SINGLE FAMILY HOMES SHALL HAVE A ONE (1) CAR GARAGE FOR INTERIOR UNITS AND A TWO (2) CAR GARAGE FOR END UNITS.
- 10.0 FOR HOUSES BUILT ON SLAB FOUNDATIONS, THE FRONT AND SIDES OF EACH DWELLING UNIT SHALL BE PROVIDED WITH A BRICK OR STONE WATER TABLE THAT EXTENDS AT LEAST EIGHTEEN (18) INCHES ABOVE GRADE.
EXPOSED FOUNDATION WALLS (REAR) SHALL BE TREATED WITH NO BARE/RAW CONCRETE EXPOSED. TREATMENTS MAY INCLUDE BRICK, STONE OR COLORED PAVING. VENEERS MAY BE USED IN LIEU OF STANDARD BRICK OR STONE.
- 11.0 THE FRONT WALL OF ALL HOMES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN TWENTY-FOUR (24) LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF ONE (1) FOOT IN DEPTH.
GARAGE FACES WILL BE EXCLUDED FROM THIS MEASUREMENT IF HOME IS PROVIDED WITH PORCH OR RECESSED STOOP.
- 12.0 THE MAJORITY OF ALL ROOF AREAS ON ANY HOME SHALL HAVE A MINIMUM OF 6/12 ROOF PITCH.
- 13.0 ALL EXPOSED (EXTERIOR OF HOME) CHIMNEYS SHALL BE STUCCO OR BRICK VENEERED CONSISTENT WITH THE ARCHITECTURE OF THE HOME.
- 14.0 FRONT LAWNS OF ALL SINGLE FAMILY HOMES SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 15.0 GARAGES SHALL BE EQUIPPED WITH WINDOWS AND/OR CARRIAGE STYLE HARDWARE WHEN PROPOSING A SINGLE DOOR OR BE SEPARATED INTO TWO (2), 1-BAY GARAGE DOORS.
- 16.0 SETBACKS AND YARDS SHALL BE AS FOLLOWS FOR DWELLING UNIT TYPES:
DETACHED SINGLE FAMILY LOTS: FRONT-20 FT, CORNER-10 FT, SIDE-5 FT, REAR-40 FT
ATTACHED SINGLE FAMILY LOTS: FRONT/ROADS-20 FT, INTERIOR SIDES-0 FT, REAR-0 FT
ATTACHED SINGLE FAMILY LOTS: 15 FT MIN. SEPARATION BETWEEN BUILDINGS
- 17.0 SETBACKS FOR ACCESSORY STRUCTURES SHALL BE MIN. OF FIVE (5) FEET FROM ALL PROPERTY LINES AND CANNOT BE LOCATED BEYOND THE FRONT MOST CORNER OF THE PRIMARY STRUCTURE (HOME).
- 18.0 FIVE (5) FOOT WIDE SIDEWALKS WILL BE REQUIRED ON BOTH SIDES OF ALL INTERIOR DEVELOPMENT STREETS.
- 19.0 EIGHT (8) FOOT WIDE SIDEWALKS WILL BE REQUIRED ALONG ALL EXTERIOR ROADS (ALONG THE PROPERTY FRONTAGE).
- 20.0 SIGN REGULATIONS FOR THIS DEVELOPMENT (EXCLUDING FUTURE COMMERCIAL AREA) SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
- 21.0 HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMPs, ETC.
- 22.0 COMMENCEMENT OF THE AMENITY AREA (PRIMARY COMMUNITY AMENITY) SHALL BEGIN NO LATER THAN FIFTY (50) PERCENT OF THE CERTIFICATES OF OCCUPANCIES ISSUED.
- 23.0 ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
- 24.0 ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR DESIGNEE.
- 25.0 EXISTING TREES WITHIN THE DEVELOPMENT THAT ARE SEVENTY-FIVE (75) INCHES OR GREATER IN CIRCUMFERENCE MUST BE PRESERVED AND SHALL NOT BE REMOVED. QUALIFYING TREES SHALL BE LOCATED AND SHOWN ON THE CONSTRUCTION DRAWINGS.
- 26.0 EXISTING TREES WITHIN THE DEVELOPMENT THAT ARE TWENTY-FIVE (25) INCHES OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, UTILITY CONSTRUCTION, OR OTHER APPROVED CONSTRUCTION LIMITS.
- 27.0 PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS CONDITIONAL DISTRICT PLAN AND SUPPORTING DOCUMENTS.

PETITIONER AFFIRMATION AND SIGNATURE:

PETITIONER SIGNATURE

DATE

ADDITIONAL CONDITIONS AND REQUIREMENTS ARE SPECIFIED THROUGHOUT THIS CONDITIONAL REZONING PLAN (SHEET RZ-1 THRU RZ-8)

DATE	ISSUED FOR	REV
5/8/20	Submission to City	0
8/17/20	Per City Review Comments Dated 6/11/20	1
10/14/20	Per City Review Comments Dated 10/9/20	2
10/21/20	Per City Review Comments Dated 10/21/20	3
11/30/20	Correct Commercial Development Acreage	4

Engineer:

RJH

R. Joe Harris & Associates, Inc.
Engineering • Land Surveying • Planning
Management
1186 Stonemont Boulevard, Fort Mill, S.C. 29708 P: (803) 802-1799

www.rjoharris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal
REZONING DOCUMENT
NOT FOR CONSTRUCTION
Engineer's Seal

Project Manager	Drawn
-	B. Pridemore
Department Manager	Checked
-	-

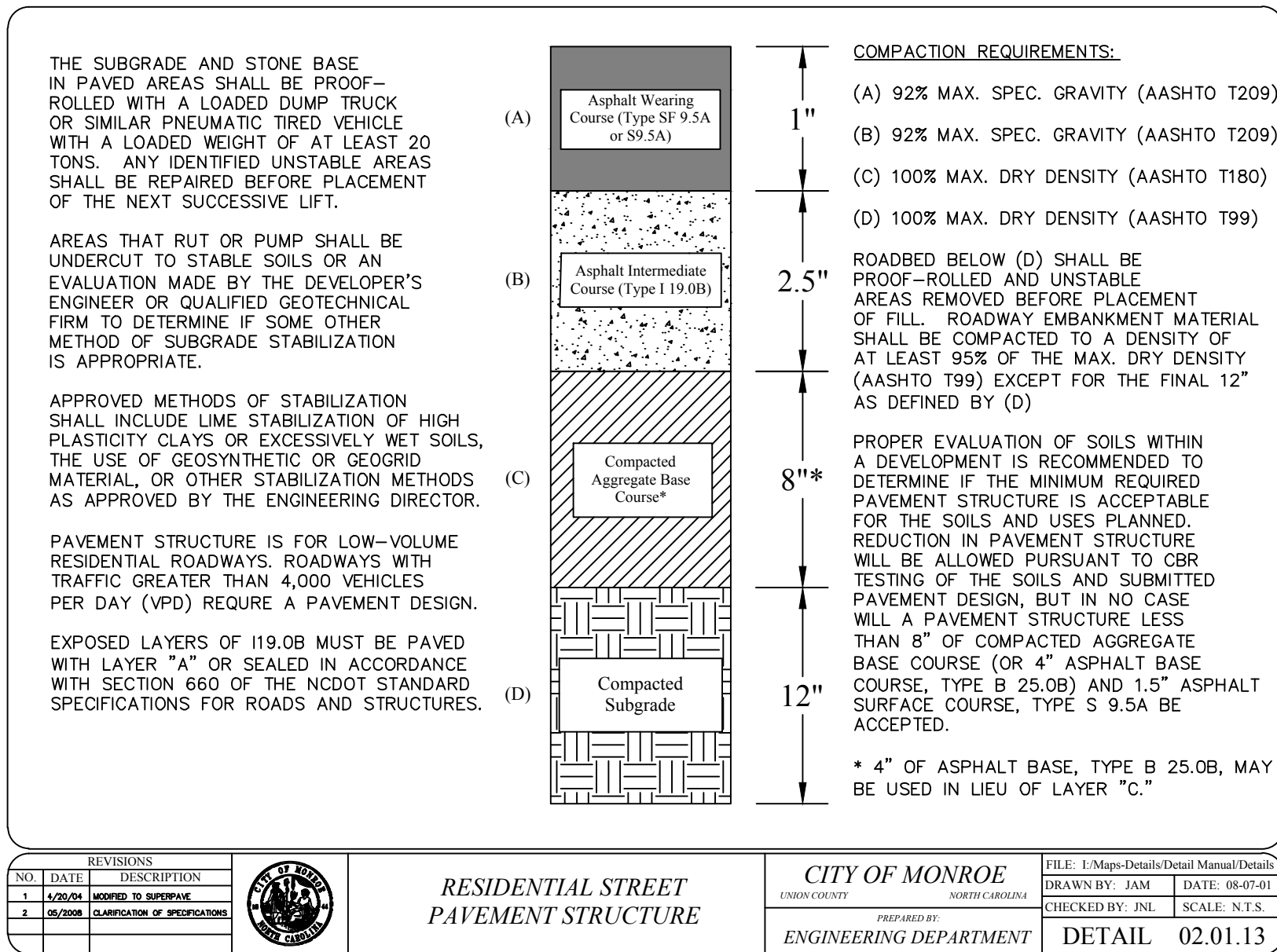
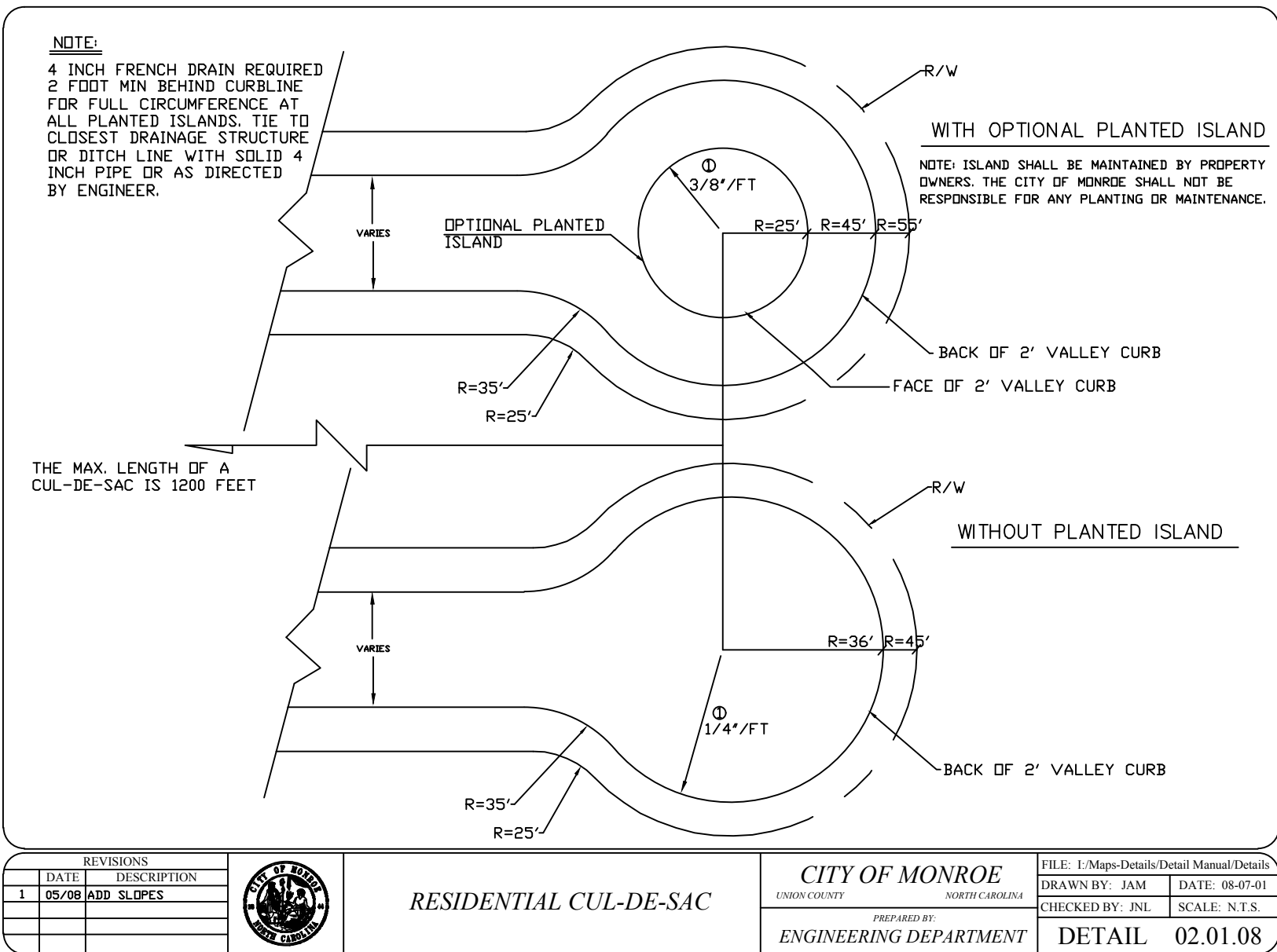
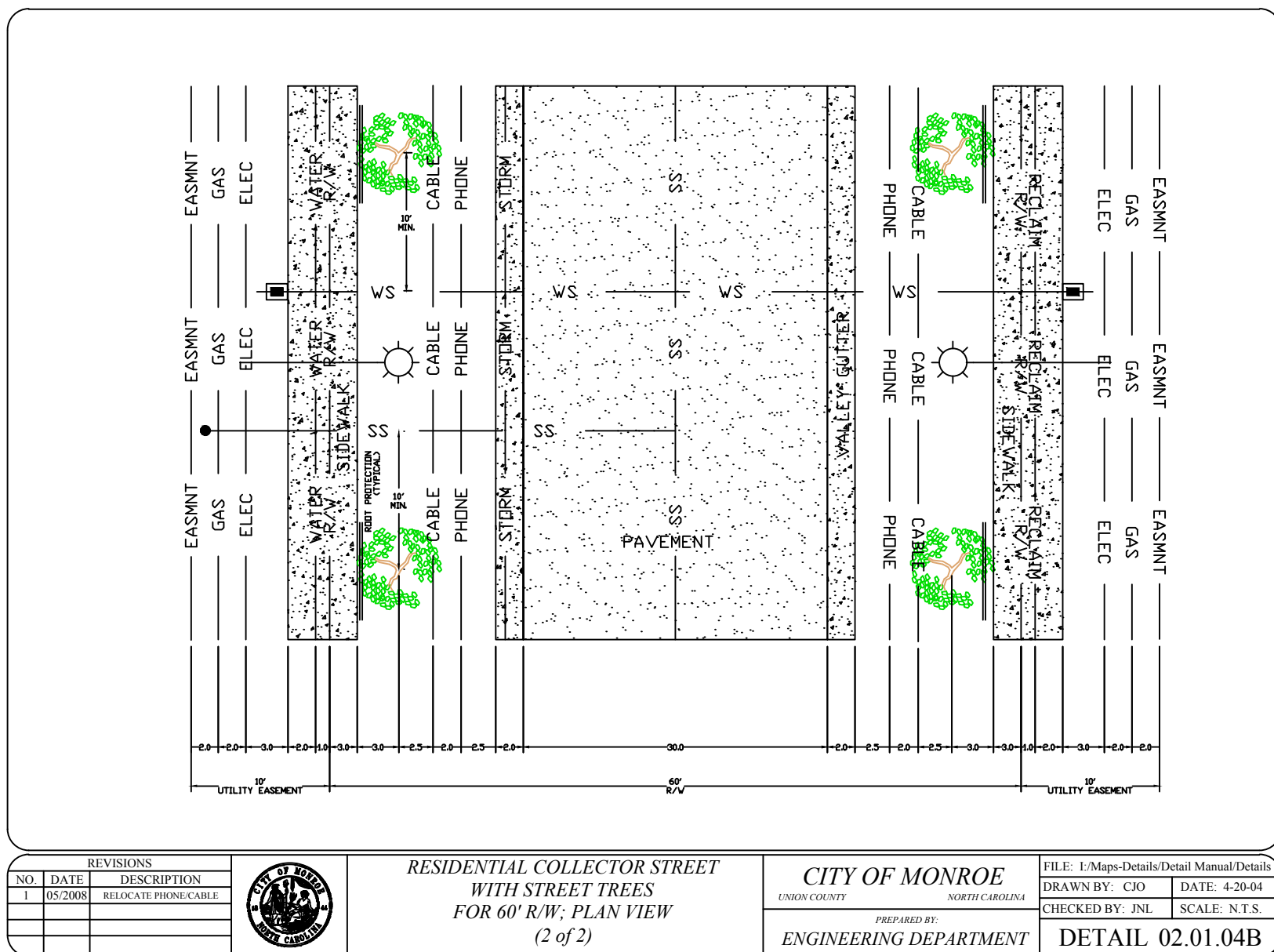
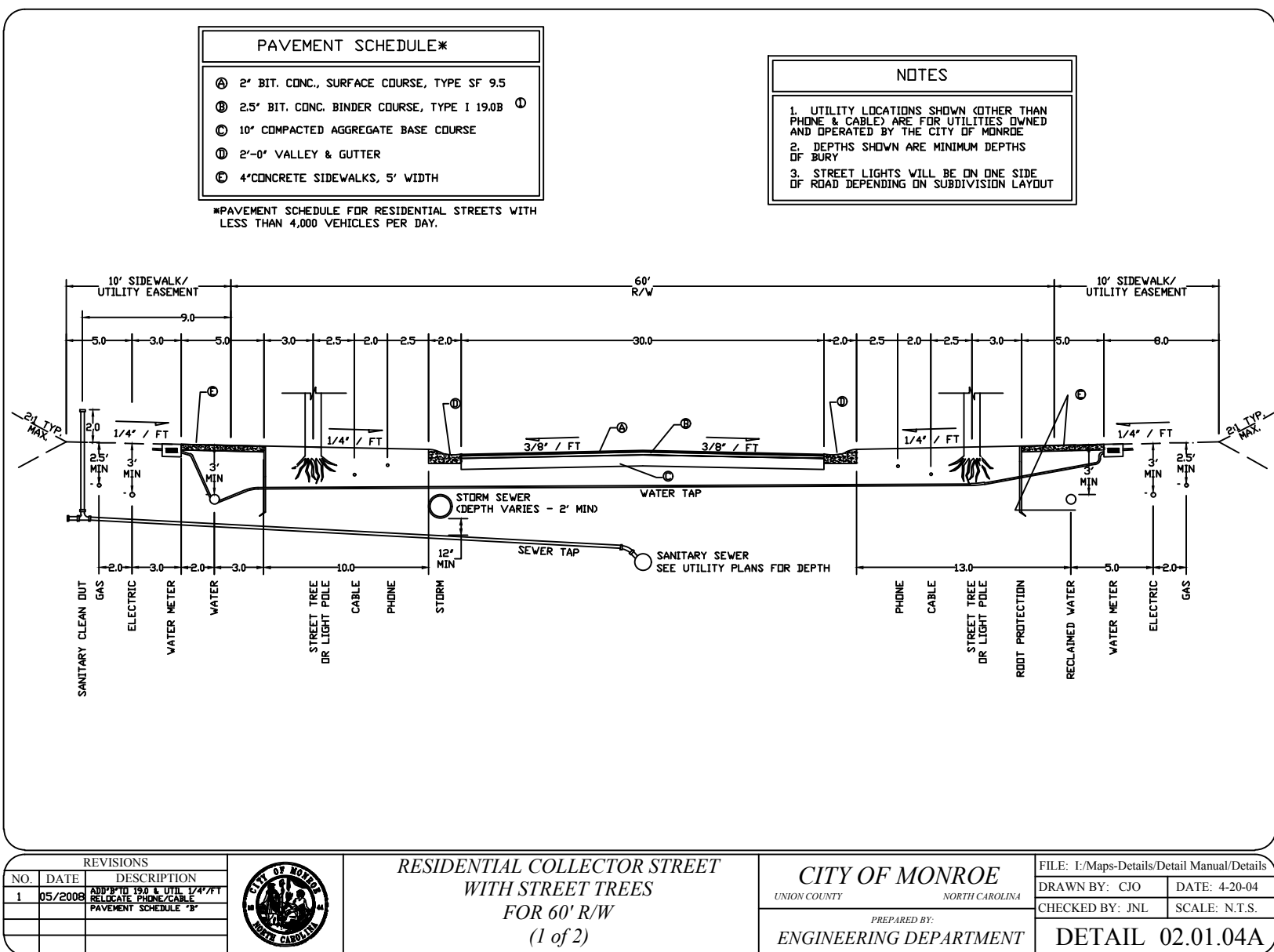
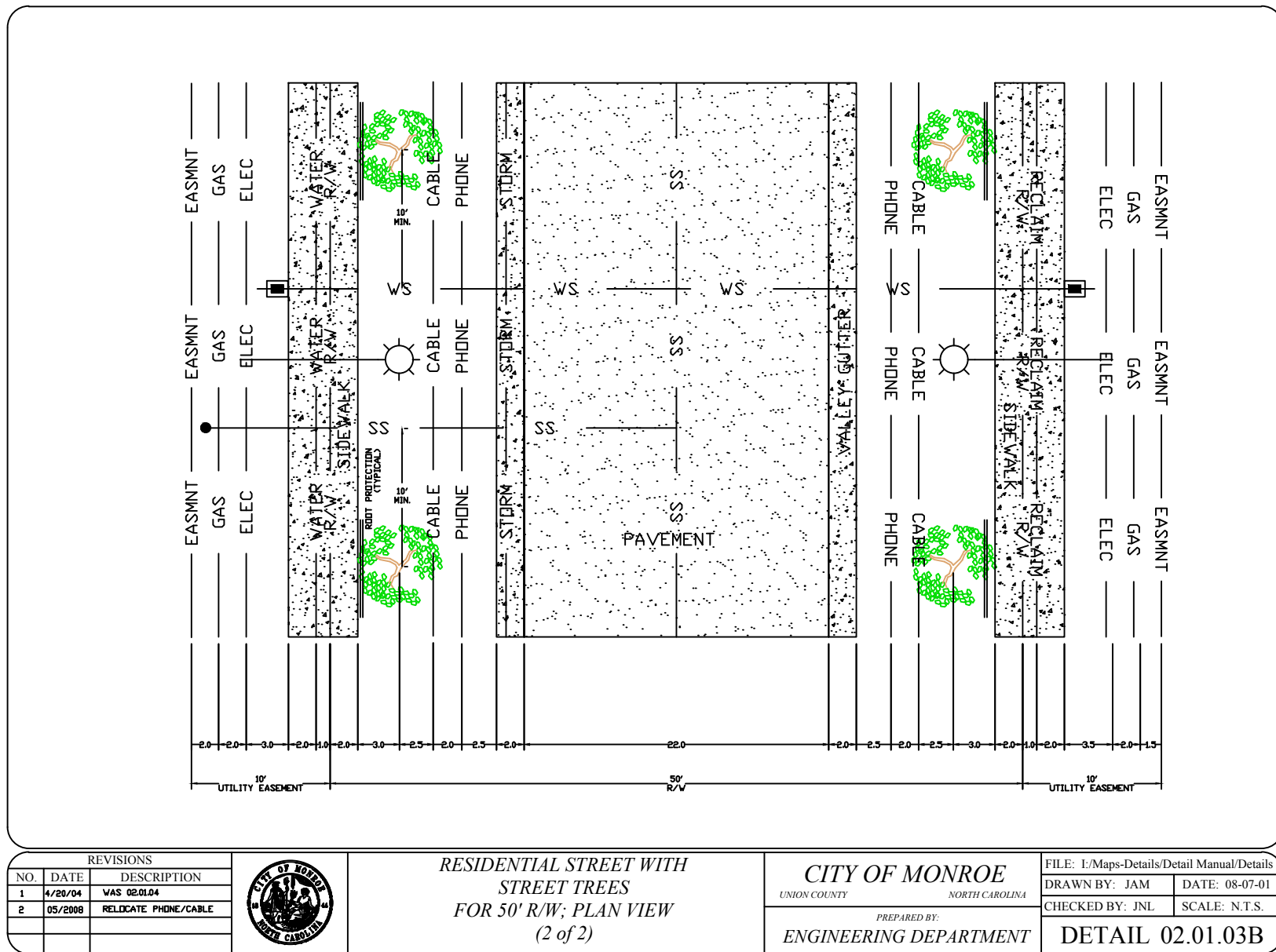
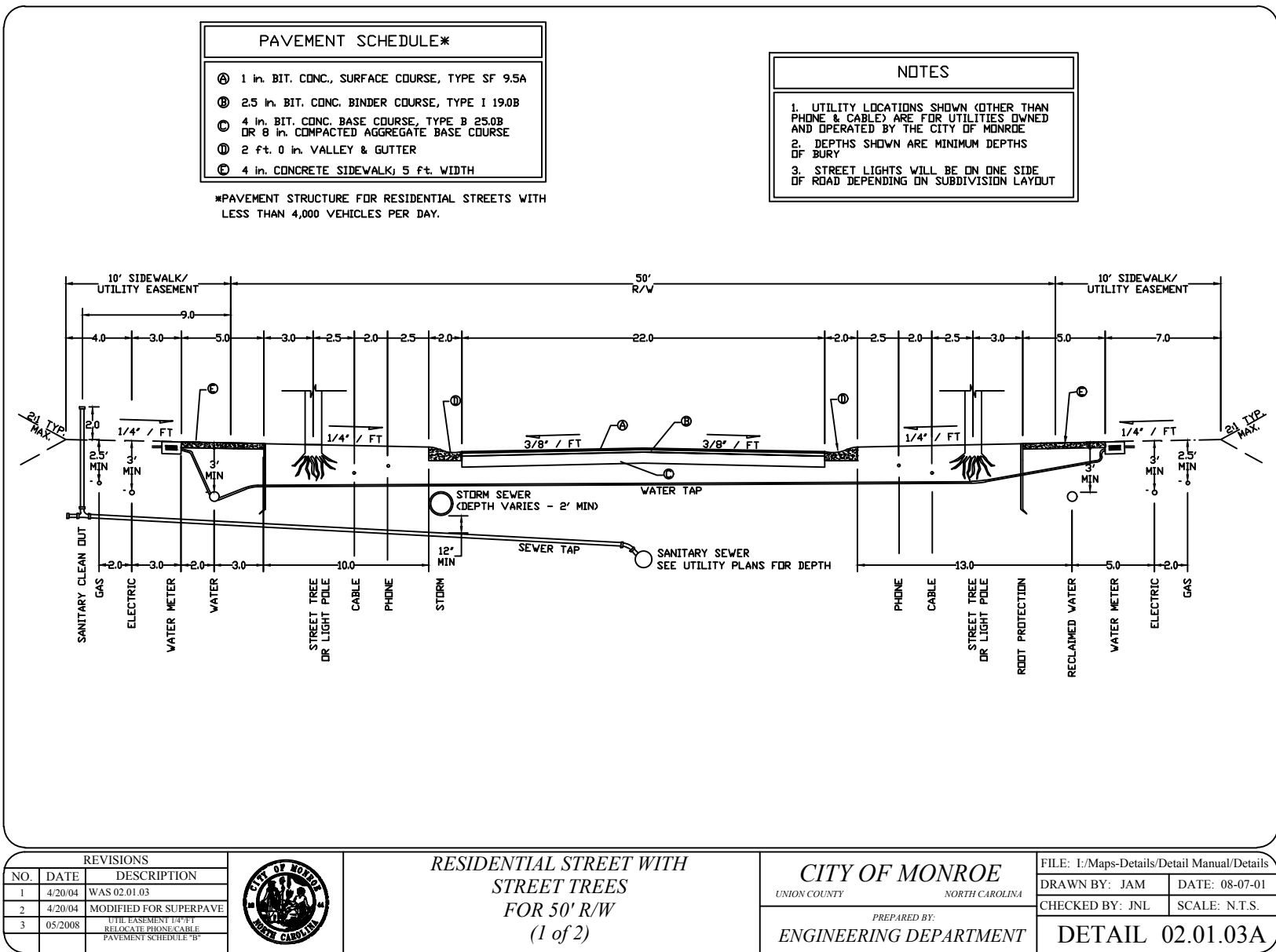
Print/Plot Date
December 18, 2020
Client

STRATFORD LAND
3400 PEACHTREE ROAD, SUITE 650
ATLANTA, GEORGIA 30326
P: 404-924-8400

Project:
THE GREENWAY AT LAKE LEE
CONDITIONAL DISTRICT

Drawing Title:
REZONING PLAN
Master Overall Plan

Project No.	Drawing No.
3366-Rezoning Plan	RZ-1
DWG File Name:	
3366-Lake Lee CD Rezoning	



CONDITIONAL NOTES & STANDARDS

GENERAL CONDITIONS:

- 1.0 CONDITIONAL DISTRICT "THE GREENWAY AT LAKE LEE" IS HEREBY SUBMITTED FOR APPROVAL SUBJECT TO THE SPECIFIC TERMS AND CONDITIONS NOTED HEREON THE REZONING PLAN.
- 2.0 FOR THE RESIDENTIAL PORTIONS OF THE SITE, THERE SHALL BE NO MORE THAN 820 COMBINED RESIDENTIAL DWELLING UNITS PERMITTED FOR THE PROJECT (ATTACHED AND DETACHED DWELLING UNITS).
- 3.0 ATTACHED RESIDENTIAL DWELLING UNITS (TOWNHOMES) MAY NOT COMPRISE MORE THAN 100 OF THE TOTAL DWELLING UNITS.
- 4.0 THE CONDITIONAL DISTRICT MASTER PLAN MUST BE AMENDED AND SUBMITTED FOR APPROVAL BY THE CITY OF MONROE UPON DEVELOPMENT OF THE "FUTURE" COMMERCIAL PARCELS AND THE COMMERCIAL ACREAGE SHALL BE NO LESS THAN 15.1 ACRES (NET OF EXISTING EXTERNAL RIGHTS-OF-WAY AND INTERNAL PROPOSED RIGHTS-OF-WAY) AS DEPICTED ON THIS MASTER PLAN.
- 5.0 ANY TECHNICAL ISSUES NOT ADDRESSED WITHIN THE REZONING MASTER PLAN SHALL BE SUBJECT TO THE CURRENT CONSTRUCTION DOCUMENT APPROVAL PROCESS IN PLACE AT TIME OF SUBMITTAL AND MUST COMPLY WITH THE CITY'S SUBDIVISION AND LAND DEVELOPMENT STANDARDS (LATEST EDITION).
- 6.0 FUTURE AMENDMENTS TO THIS REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS AND CONDITIONS) MAY BE APPLIED FOR BY THE OWNER AT THE TIME OF AMENDMENT PETITION (MASTER DEVELOPER) OR BY PARCEL SPECIFIC OWNERS FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.
- 7.0 UPON APPROVAL OF THIS REZONING PETITION AND CONDITIONAL DISTRICT PLAN, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INSURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.
- 8.0 THE SCHEMATIC DEPICTIONS OF THE LOTS, STREETS, SIDEWALKS AND OTHER SITE ELEMENTS SET FORTH IN THE CONDITIONAL DISTRICT REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE ULTIMATE LAYOUT (FINAL) LOCATIONS, AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS AND SUBJECT TO MINOR ADJUSTMENTS. THEY MAY BE ALTERED IN ACCORDANCE WITH THE SETBACKS, YARDS AND BUFFER REQUIREMENTS SET FORTH IN THIS REZONING PLAN AND THE DEVELOPMENT STANDARDS, PROVIDED ANY SUCH ALTERATIONS AND MODIFICATIONS DO NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THIS CONDITIONAL DISTRICT REZONING PLAN (PLANNING STAFF MAY GRANT ADMINISTRATIVE APPROVAL OF MINOR CHANGES).
- 9.0 DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THIS CONDITIONAL DISTRICT REZONING PLAN AND THE DEVELOPMENT STANDARDS ESTABLISHED HEREIN AND COLLECTIVELY REFERRED TO AS THE "REZONING PLAN", AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF MONROE ZONING ORDINANCE (THE "ORDINANCE").
- 10.0 THE CONDITIONS AND STANDARDS DENOTED ON THIS REZONING PLAN SHALL TAKE PRECEDENT WHEN IN CONFLICT WITH THE CITY'S APPROVED ORDINANCES AND STANDARDS.

PLANNING & ZONING:

- 1.0 CLUSTER MAILBOXES SHALL PROVIDED AND SUBJECT TO THE LATEST UNITED STATES POSTAL SERVICE (USPS) CLUSTER MAILBOX GUIDELINES. THE LOCATION OF MAILBOX CLUSTER SHALL BE COORDINATED WITH AND APPROVED BY THE USPS POSTMASTER AND CITY OF MONROE ENGINEERING DEPARTMENT.
- 2.0 LOT LINES SHALL BE SUBJECT TO THE LATEST CITY OF MONROE LAND DEVELOPMENT DESIGN GUIDELINES AND ORDINANCE.
- 3.0 THE PETITIONER, HEIRS AND ASSIGNS AGREES TO SUBMIT A LANDSCAPE PLAN AND LIGHTING PLAN WITH THE CONSTRUCTION DOCUMENTS. ALL STREET TREES SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) AND/OR HOMEOWNERS ASSOCIATION (HOA), AS APPLICABLE. THE CITY OF MONROE WILL ASSUME NO MAINTENANCE RESPONSIBILITIES FOR TREES THAT ARE PLACED WITHIN THE STREET RIGHTS-OF-WAY.
- 4.0 SIGNAGE WITHIN THE DEVELOPMENT SHALL MEET THE REQUIREMENTS OF THE ORDINANCE.
- 5.0 NEW HOMES (ATTACHED AND DETACHED) WILL MEET THE ARCHITECTURAL STANDARDS SET FORTH IN THIS PETITION. REFER TO THE SPECIFIC ARCHITECTURAL CONDITIONS AND STANDARDS OUTLINED ON SHEET RZ-5
- 6.0 DEVELOPMENT MAY BE APPROVED AND CONSTRUCTED IN PHASES AND MASTER PHASING SHOWN HEREIN MAY BE ADJUSTED AS NEEDED. SUB-PHASING OF MASTER DEVELOPMENT PHASES WILL BE PERMITTED.

FIRE SAFETY:

- 1.0 THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF MONROE FIRE DEPARTMENT'S FIRE MARSHAL APPROVAL AND THE 2012 NORTH CAROLINA FIRE CODE.

ENGINEERING - ROADWAYS & STORMWATER:

- 1.0 ALL PROPOSED PUBLIC STREETS WILL BE SUBJECT TO THE CITY OF MONROE'S TYPICAL RESIDENTIAL STREET STANDARDS. SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL INTERNAL STREETS AND MAY BE CONSTRUCTED WITH EACH HOME.
- 2.0 STREET LAYOUTS MAY BE MODIFIED TO ACCOMMODATE FINAL SITE LAYOUTS AND DEVELOPMENT PLANS WITHIN THE DEVELOPMENT AREA BOUNDARIES TO THE EXTENT PERMITTED BY THE ORDINANCE.
- 3.0 DEVELOPMENT SITE IS WHOLLY LOCATED WITHIN THE RICHARDSON CREEK WS-IV WATERSHED OVERLAY (CRITICAL AND PROTECTED AREAS) AND BUILT UPON IMPERVIOUS LIMITS SHALL NOT EXCEED 36% FOR THE ENTIRE DEVELOPMENT AREA AS A WHOLE. CALCULATION SHALL BE BASED ON THOSE PORTIONS OF THE DEVELOPMENT CONTAINED WITHIN THE PROJECT BOUNDARIES AND EXCLUSIVE OF THOSE AREAS CONTAINED WITHIN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHTS-OF-WAYS.
- 4.0 WATER QUALITY PROVISIONS MUST BE PROVIDED (LOW OR HIGH DENSITY STANDARDS), BUT STORMWATER DETENTION IS NOT REQUIRED WHEN EXCESS SURFACE RUNOFF DISCHARGES DIRECTLY TO REGULATED FLOODPLAINS (AS IDENTIFIED ON LATEST FEMA FLOODPLAIN MAPS). NOTE THAT WATER QUALITY AND STORMWATER DETENTION ARE TWO DIFFERENT PROVISIONS OF THE CITY'S ORDINANCE AND STANDARDS AND NOT SINGULAR IN THEIR REQUIREMENTS.

ENGINEERING - WATER RESOURCES (WATER & SEWER):

- 1.0 PROPOSED PUMP STATION(S), FORCEMAIN(S), GRAVITY SEWER AND POTABLE WATER MAIN SYSTEMS SHALL BE DEDICATED TO THE CITY OF MONROE FOR OWNERSHIP AND MAINTENANCE UPON COMPLETION AND APPROVAL.

ENVIRONMENTAL:

- 1.0 DEVELOPER WILL BE SOLELY RESPONSIBLE FOR ANY IMPACTS TO JURISDICTIONAL STREAMS AND/OR WETLANDS AND COPIES OF SUCH PERMITS SHALL BE PROVIDED TO THE CITY OF MONROE.
- 2.0 404/401 CERTIFICATIONS, AS APPLICABLE, MAY BE OBTAINED IN PHASES AS ALLOWED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) AND NORTH CAROLINA DIVISION OF WATER RESOURCES (NCDWR).

TRANSPORTATION:

- 1.0 DEVELOPMENT IS SUBJECT TO RESULTS OF THE APPROVED TRAFFIC IMPACT STUDY AS PERFORMED BY KIMLEY-HORN DATED JULY 29, 2020. SEE BELOW FOR DETAILED LIST OF IMPROVEMENTS FROM TIA.
- 2.0 SEE ALSO PROPOSED IMPROVEMENT SCHEMATICS SHOWN WITHIN THE REZONING PLAN. SCHEMATICS ARE SUBJECT TO FINAL ENGINEERING AND SHOWN FOR REFERENCE PURPOSED ONLY.

US 74 AND US 601

- EASTBOUND RIGHT-TURN LANE ALONG US 74 WITH 325' OF STORAGE
- WESTBOUND LEFT-TURN LANE ALONG US 74 WITH 175' OF STORAGE
- RESTRIPIING OF THE ISLAND/TWO-WAY LEFT-TURN LANE ALONG US 601 TO CREATE A THIRD NORTHBOUND LEFT-TURN LANE ALONG US 601 SHOULD BE PURSUED IF GEOMETRICALLY FEASIBLE

US 601 AND WHITE STORE ROAD NORTH

- SOUTHBOUND RIGHT-TURN LANE ALONG US 601 AT WHITE STORE ROAD NORTH WITH 100' OF STORAGE
- EASTBOUND RIGHT-TURN LANE ALONG WHITE STORE ROAD NORTH AT US 601 WITH 100' OF STORAGE

WHITE STORE ROAD NORTH AND ACCESS 6

- SINGLE INGRESS AND EGRESS LANE ALONG ACCESS 6 WITH A 275-FOOT INTERNAL PROTECTED STEM

US 601 AND WHITE STORE ROAD/ACCESS 1

- NORTHBOUND LEFT-TURN LANE ALONG US 601 WITH 125' OF STORAGE
- SOUTHBOUND LEFT-TURN LANE ALONG US 601 WITH 325' OF STORAGE
- WESTBOUND LEFT-TURN LANE ALONG WHITE STORE ROAD WITH 50' OF STORAGE
- WESTBOUND RIGHT-TURN LANE ALONG WHITE STORE ROAD WITH 100' OF STORAGE
- EASTBOUND LEFT-TURN LANE ALONG ACCESS 1 (CONTINUOUS)
- EASTBOUND THROUGH/RIGHT LANE ALONG ACCESS 1 WITH 125' OF STORAGE
- 375-FOOT IPS ALONG ACCESS

MARION LEE ROAD AND ACCESS 2/ACCESS 3

- SINGLE INGRESS AND EGRESS LANE ALONG ACCESSES 2/3 WITH A 100-FOOT INTERNAL PROTECTED STEM

MARION LEE ROAD/ACCESS 4/ACCESS 5

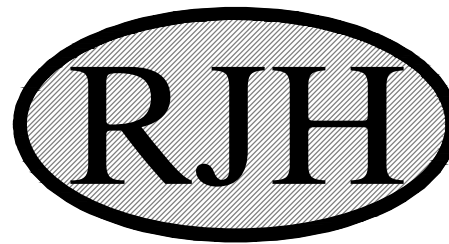
- SINGLE INGRESS AND EGRESS LANE ALONG ACCESSES 4/5 WITH A 100-FOOT INTERNAL PROTECTED STEM

DATE	ISSUED FOR	REV
5/8/20	Submital to City	0
8/17/20	Per City Review Comments Dated 6/11/20	1
10/14/20	Per City Review Comments Dated 10/9/20	2
10/21/20	Per City Review Comments Dated 10/21/20	3
11/30/20	Correct Commercial Development Acreage	4



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This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal Engineer's Seal

REZONING DOCUMENT
NOT FOR CONSTRUCTION

Project Manager	Drawn
-	B. Pridemore
Department Manager	Checked
-	-

Print/Plot Date

December 18, 2020

Client

STRATFORD LAND

3400 PEACHTREE ROAD, SUITE 650
ATLANTA, GEORGIA 30326
P: 404-924-8400

Project:

THE GREENWAY AT
LAKE LEE
CONDITIONAL DISTRICT

Drawing Title:

REZONING PLAN
Additional Notes &
Site Details

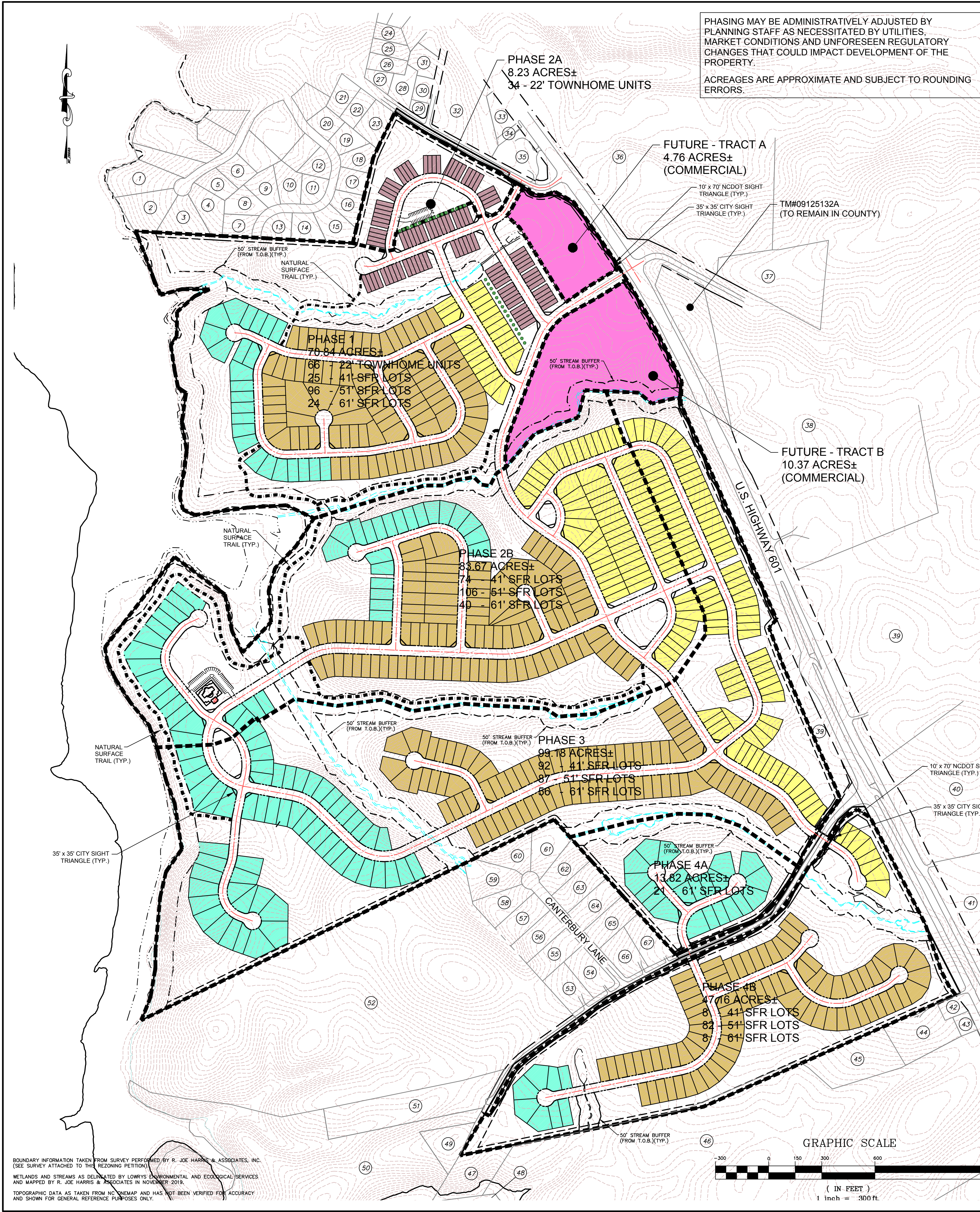
Project No. Drawing No.

3366-Rezoning Plan

DWG File Name:

3366-Lake Lee CD Rezoning

RZ-2



DEVELOPMENT PHASING - RESIDENTIAL (TRACT C)						
PHASE	ACREAGE	22' TH UNITS	41' SFR LOTS	51' SFR LOTS	61' SFR LOTS	SUBTOTAL
1	70.84 AC±	66	25	96	24	211 RESIDENTIAL UNITS
2A	8.23 AC±	34	-	-	-	34 RESIDENTIAL UNITS
2B	83.67 AC±	-	74	106	40	220 RESIDENTIAL UNITS
3	99.18 AC±	-	92	87	57	236 RESIDENTIAL UNITS
4A	13.82 AC±	-	-	-	21	21 RESIDENTIAL UNITS
4B	47.16 AC±	-	8	82	8	98 RESIDENTIAL UNITS
TOTALS	322.90 AC±	100	199	371	150	820 TOTAL RESIDENTIAL UNITS/LOTS

* PHASE 2A & 2B WILL BE DEVELOPED TOGETHER (ONLY SHOWN SEPARATELY DUE TO GEOGRAPHIC SEPARATION OF AREAS)

* PHASE 4A & 4B WILL BE DEVELOPED TOGETHER (ONLY SHOWN SEPARATELY DUE TO GEOGRAPHIC SEPARATION OF AREAS)

* TYPES OF UNITS MAY BE INTERCHANGED AS LONG AS THERE ARE NO MORE THAN 108 ATTACHED RESIDENTIAL DWELLINGS (TOWNHOMES) AND NO MORE THAN TOTAL NUMBER OF RESIDENTIAL UNITS ALLOWED UNDER THIS REZONING PLAN (820 TOTAL UNITS).

* TOWNHOMES TO CONSIST OF 50 2-BEDROOM UNITS AND 50 3-BEDROOM UNITS.

FUTURE PHASING - COMMERCIAL		
TRACT	ACREAGE	NOTES
A	4.76 AC±	FUTURE COMMERCIAL - MASTER PLAN TO BE UPDATED PRIOR TO DEVELOPMENT
B	10.37 AC±	FUTURE COMMERCIAL - MASTER PLAN TO BE UPDATED PRIOR TO DEVELOPMENT
TOTALS	15.13 AC±	FUTURE COMMERCIAL - MASTER PLAN TO BE UPDATED PRIOR TO DEVELOPMENT

CONDITIONAL DISTRICT REZONING PLAN MUST BE AMENDED AND OBTAIN LEGISLATIVE APPROVAL PRIOR TO DEVELOPMENT (REQUIRES PUBLIC HEARINGS AND PUBLIC VOTE).

FUTURE COMMERCIAL DEVELOPMENT TRACTS ARE NOT PART OF THIS PLAN APPROVAL.

LOT/PARCEL DEVELOPMENT STANDARDS	
ATTACHED UNITS	COMMERCIAL PARCELS
MIN. LOT SIZE - 2,200 SQ.FT./UNIT	MIN. LOT SIZE - 0.50 ACRES
MIN. LOT WIDTH - 22 FT./UNIT AT FRONT S.B.	MIN. LOT WIDTH - 100 FT.
ROAD SETBACKS - 20 FT. (FRONT & CORNERS)	ROAD SETBACKS* - 30 FT. (EXISTING AND PROPOSED R/W)
REAR SETBACK - 0 FT.	BLDG SEPARATION - 20 FT. BETWEEN BUILDINGS
BLDG SEPARATION - 15 FT. BETWEEN BUILDINGS	* 10' SETBACK FROM SHARED RESIDENTIAL PROPERTY LINES
DETACHED RESIDENTIAL LOTS	
MIN. LOT SIZE - 5,125 SQ.FT.	LEGEND
MIN. LOT WIDTH - 41 FT. MEASURED AT FRONT S.B.	
SETBACKS & YARDS: FRONT - 20 FT.	
CORNER - 10 FT.	
SIDE - 5 FT.	
REAR - 30 FT.	
ACCESSORY STRUCTURES MUST BE LOCATED 5' FROM ALL PROPERTY LINES AND CANNOT BE LOCATED BEYOND THE FRONT CORNER OF THE HOME/PRIMARY FACADE	■ FUTURE DEVELOPMENT (COMMERCIAL)
	■ ATTACHED SFR UNITS (TOWNHOMES) - 100 UNITS
	■ DETACHED SFR - 41' WIDE LOTS - 199 UNITS
	■ DETACHED SFR - 51' WIDE LOTS - 371 UNITS
	■ DETACHED SFR - 61' WIDE LOTS - 150 UNITS

ADJACENT PARCEL INFORMATION (300' OF PROJECT EDGES)					
NO.	PARCEL I.D.	PROPERTY OWNER(S)	MAILING ADDRESS	ZONING	USE OF PROPERTY
1	09161056	JOSEPH E. & STACEY D. QUERY	1732 LAKE LEE DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
2	09161055	RODNEY J. PURSER	4623 HOMESTEAD PLACE, WEDDINGTON, NC 28104	R-20	VACANT
3	09161054	MARY A. NASH	1735 LAKE LEE DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
4	09161053	ANA LAURA HERNANDEZ CABALLERO	PO BOX 881818, CHARLOTTE, NC 28218	R-20	RESIDENTIAL
5	09161052	EDDIE W. & ALICE F. VARNER	1727 LAKE LEE DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
6	09161051	GARY A. & SILVIA L. NEWBILL	1723 LAKE LEE DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
7	09161042	AUDREY D. & SUSAN E. BALES	1766 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
8	09161043	LEE SEIGFRED & GENEVA HAMMEL	1762 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
9	09161044	DIANE BARREAU	1758 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
10	09161045	LARRY A. & VICKY L. SUMNER	1754 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
11	09161046	E'USA GUARDA	1750 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
12	09161047	FRANCIS ROOSEVELT, TRUSTEE	1738 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
13	09161041	CALVIN D. & JANET W. MILLER	1763 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
14	09161040	ALLAN & VIVIAN LEGGITE	1755 LESA LIN DRIVE, MONROE, NC 28110	R-20	RESIDENTIAL
15	09161039	JONATHAN & JENNIFER PURSER	1751 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
16	09161038	SHERRY BARE	1747 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
17	09161037	2018-2 IH BORROWER LP % INVITATION HOMES	1717 MAIN STREET, STE 200, DALLAS, TX 75201	R-20	RESIDENTIAL
18	09161036	SHELLY STITELER	1739 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
19	09161035	JAMES & MICHELLE DANNEN	1735 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
20	09161034	DOCK & DORA DIGGS	1731 LESA LIN DRIVE, MONROE, NC 28112	R-20	RESIDENTIAL
21	09158020	JAMES H. & SARAH M. FORESTER	1730 WHITE STORE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
22	09158019	ALLYSON TORI WRIGHT	1732 WHITE STORE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
23	09158018A	RICHARD C. TAYLOR	1734 WHITE STORE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
24	09158017	RONALD W. & TAMARA WOODS	3300 KELLYSTONE DRIVE, MONROE, NC 28110	R-20	RESIDENTIAL
25	09158010	DSSS INVESTMENTS GROUP LLC	7006 FINE ROBE DRIVE, INDIAN TRAIL, NC 28079	R-20	RESIDENTIAL
26	09158009	AMBROCIO VILLAVENCIO & ARELY S. AGUAS	1611 RUSSELL COURTNEY ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
27	09158008	BRANDI L. SATRYAN	1613 RUSSELL COURTNEY ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
28	09158018	RALPH D. & ANN C. CRUMP	1734 SANDY RIDGE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
29	09158017	SHELBY J. PROBST	1612 HINSON ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
30	09158016	KEITH R. WILSON	8905 BOYD DRIVE, MATTHEWS, NC 28105	R-20	RESIDENTIAL
31	09158015	SANDRA PLOWMAN & MELODY TROUT	2750 WILLOW BROOK DRIVE, MATTHEWS, NC 28104	R-20	RESIDENTIAL
32	09125137B	EVADIA ARTEAGA & BULMARO PEREZ	1607 HINSON ROAD, MONROE, NC 28112	OT	RESIDENTIAL
33	09125136	YVALLABH LLC	2503 KNIGHTS COURT, MONROE, NC 28110	OT	COMMERCIAL
34	09125137A	YVALLABH LLC	2503 KNIGHTS COURT, MONROE, NC 28110	OT	COMMERCIAL
35	09125137	DANNY N. & ELLEN L. HINSON, TRUSTEES	2123 PAGELAND HIGHWAY, MONROE, NC 28112	OT	COMMERCIAL
36	09125134	HWY 601 DEVELOPMENT LLC	520 EAGLETON DOWNS DR, ST D, PINEVILLE, NC 28134	CD	OAKTON DEVELOPMENT
37	09125001	DAVID F. CASPER	106 SERINTITY HILLS DRIVE, MONROE, NC 28110	RA-20	INACTIVE RELIGIOUS
38	09125131	DANNY N. & ELLEN L. HINSON, TRUSTEES	2123 PAGELAND HIGHWAY, MONROE, NC 28112	RA-20	RESIDENTIAL & COMMERCIAL
39	09125130	GILES W. & JOHN C. WICK	1918 WINDMERE DRIVE, MONROE, NC 28110	RA-20	RESIDENTIAL
40	09125129	ADELAIDE C. CLAWSON	3809 MOURNING DOVE DRIVE, WEDDINGTON, NC 28104	RA-20	RESIDENTIAL
41	09128016B	ADELAIDE C. CLAWSON	3809 MOURNING DOVE DRIVE, WEDDINGTON, NC 28104	RA-40	VACANT
42	09128002	NC DEPARTMENT OF TRANSPORTATION	206 CHARTER STREET, ALBEMARLE, NC 28001	RA-40	VACANT
43	09128002A	NC DEPARTMENT OF TRANSPORTATION	206 CHARTER STREET, ALBEMARLE, NC 28001	RA-40	VACANT
44	09128003	BETTY A. BROWN	2414 PAGELAND HIGHWAY, MONROE, NC 28112	RA-40	RESIDENTIAL
45	09128003A	BETTY A. BROWN	2414 PAGELAND HIGHWAY, MONROE, NC 28112	RA-40	VACANT
46	09128004	THOMAS F. & BARBARA A. RITZ	2426 PAGELAND HIGHWAY, MONROE, NC 28112	RA-40	RESIDENTIAL
47	09128005	OLD PLACE LLC	1918 WINDMERE DRIVE, MONROE, NC 28110	R-20/RA-40	VACANT
48	09128007	OLD PLACE LLC	1918 WINDMERE DRIVE, MONROE, NC 28110	R-20/RA-40	VACANT
49	09128006B	ETHEL M. THOMAS, TRUSTEE	1031 MARION LEE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
50	09128006	METROUNA INVESTMENTS INC	315 S. SOUTHERLAND AVENUE, MONROE, NC 28112	R-20	VACANT
51	09128006A	ETHEL M. THOMAS, TRUSTEE	1031 MARION LEE ROAD, MONROE, NC 28112	R-20	POSSIBLE RESIDENTIAL
52	09125133	FAMILY ENTERPRISES LLC % STEVE BRAITAIN	2400 RAMBLEWOOD LANE, CHARLOTTE, NC 28210	R-20	VACANT
53	09125152	MITCHELL D. BRASWELL	1006 MARION LEE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
54	09125151	KEVIN M. FRICK & JUDY RIVONE	1002 MARION LEE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
55	09125150	DONALD & ANITA FOSTER	378 MARKKWOOD DRIVE, LEXINGTON, NC 27295	R-20	VACANT (CANTERBURY)
56	09125149	JUSTIN S. BRAUDA	2214 CANTERBURY LANE, MONROE, NC 28112	R-20	RESIDENTIAL
57	09125148	TEETER TRUST	2206 CANTERBURY LANE, MONROE, NC 28112	R-20	VACANT (CANTERBURY)
58	09125147	TEETER TRUST	2206 CANTERBURY LANE, MONROE, NC 28112	R-20	RESIDENTIAL
59	09125146	PETER T. & SUSAN C. OCHS	1906 SUMMIT VIEW PLACE, WAXHAW, NC 28173	R-20	VACANT (CANTERBURY)
60	09125145	PETER T. & SUSAN C. OCHS	1906 SUMMIT VIEW PLACE, WAXHAW, NC 28173	R-20	VACANT (CANTERBURY)
61	09125144	DANA R. & DEBRA L. DAHLQUIST	2205 CANTERBURY LANE, MONROE, NC 28112	R-20	RESIDENTIAL
62	09125143	LLOYD T. MCALAIN	2209 CANTERBURY LANE, MONROE, NC 28112	R-20	RESIDENTIAL
63	09125142	TERRY L. & ELLEN A. MOORE	2215 CANTERBURY LANE, MONROE, NC 28112	R-20	RESIDENTIAL
64	09125141	TERRY L. & ELLEN A. MOORE	2215 CANTERBURY LANE, MONROE, NC 28112	R-20	RESIDENTIAL
65	09125140	TERRY L. & ELLEN A. MOORE	2215 CANTERBURY LANE, MONROE, NC 28112	R-20	VACANT
66	09125139	KELLEN J. & LINDSEY L. LEE	924 MARION LEE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL
67	09125138	TYLER E. HEFNER	902 MARION LEE ROAD, MONROE, NC 28112	R-20	RESIDENTIAL

DATE	ISSUED FOR	REV
5/8/20	Submittal to City	0
8/17/20	Per City Review Comments Dated 6/11/20	1
10/14/20	Per City Review Comments Dated 10/9/20	2
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www.rjoe Harris.com

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Corporate Seal	Engineer's Seal

REZONING DOCUMENT
NOT FOR CONSTRUCTION

Project Manager	Drawn
-	B. Pridemore
Department Manager	Checked
-	-

Print/Plot Date
December 18, 2020

Client
STRATFORD LAND
3400 PEACHTREE ROAD, SUITE 650
ATLANTA, GEORGIA 30326
P: 404-924-8400

Project:
THE GREENWAY AT
LAKE LEE
CONDITIONAL DISTRICT

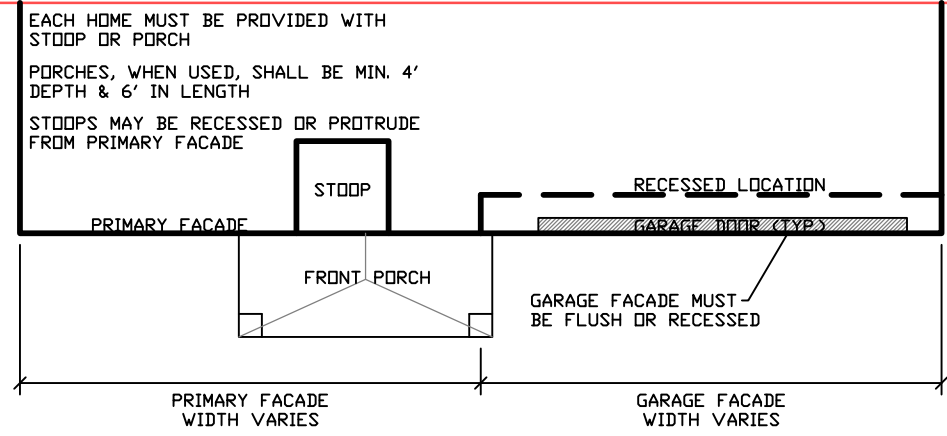
Drawing Title:
REZONING PLAN
Phasing & Lot Standards

Project No. 3366-Rezoning Plan DWG File Name: 3366-Lake Lee CD Rezoning	Drawing No. RZ-3
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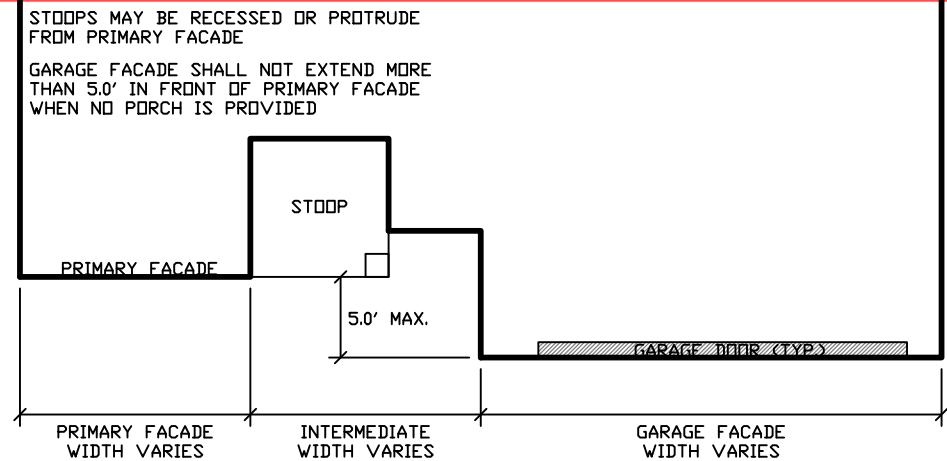
SINGLE FAMILY LOT SIZE CHART (NOMINAL LOT SIZE – NOT EXACT WIDTH)																							
NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)	NO.	WIDTH (FT.)	AREA (SF)
1	41	7110	76	51	7782	151	51	7358	226	51	6630	301	56	7194	376	61	17533	451	41	6113	526	41	6560
2	41	5125	77	51	6630	152	51	6630	227	56	7194	302	51	8843	377	61	12634	452	41	6400	527	41	6560
3	41	5125	78	51	6630	153	51	6630	228	56	7194	303	51	8022	378	61	11115	453	41	6488	528	41	6560
4	41	5125	79	51	6630	154	51	6630	229	51	6630	304	51	8022	379	61	10787	454	41	6488	529	41	6560
5	41	5125	80	51	6630	155	51	6630	230	51	6630	305	51	7185	380	61	11076	455	41	6488	530	41	6560
6	41	5125	81	51	6630	156	56	7714	231	51	6630	306	51	6630	381	61	12093	456	41	6087	531	41	6560
7	41	5125	82	56	7556	157	51	6630	232	51	6630	307	51	6630	382	66	10711	457	41	5330	532	41	6560
8	41	5125	83	46	5954	158	51	6630	233	51	6913	308	51	6630	383	61	9150	458	41	5330	533	41	6560
9	41	5125	84	41	5125	159	56	7194	234	51	7331	309	51	7280	384	61	9150	459	41	5330	534	41	6560
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11	41	5125	86	41	5125	161	51	8143	236	51	7331	311	51	13360	386	61	9951	461	41	5330	536	41	6560
12	41	5125	87	41	5125	162	51	8211	237	51	7239	312	51	13360	387	61	9334	462	41	5772	537	41	6560
13	41	5125	88	41	5125	163	51	17905	238	51	7239	313	51	10629	388	61	9150	463	41	5330	538	41	6560
14	41	5125	89	41	5125	164	51	17232	239	51	6937	314	51	7280	389	61	9150	464	41	5330	539	41	6560
15	46	6609	90	41	5242	165	51	13276	240	51	6630	315	51	6630	390	61	9150	465	41	6103	540	41	6560
16	51	7120	91	41	6557	166	51	17008	241	51	6630	316	51	6630	391	61	9150	466	41	6157	541	41	8160
17	51	6630	92	41	7771	167	51	10475	242	51	6630	317	51	6630	392	61	10557	467	41	5903	542	46	12823
18	51	6630	93	56	7730	168	51	10332	243	51	6630	318	51	11745	393	61	10698	468	41	5330	543	46	8663
19	51	6630	94	51	6630	169	56	7770	244	51	6630	319	56	7194	394	61	10698	469	41	5330	544	41	6630
20	51	6630	95	51	6630	170	51	7002	245	51	6630	320	51	6630	395	61	10698	470	41	5330	545	41	5330
21	51	6630	96	51	6630	171	51	7002	246	51	6630	321	51	6630	396	61	10698	471	41	5330	546	41	5330
22	51	7525	97	51	6630	172	51	7002	247	51	6630	322	51	6630	397	61	10698	472	41	5330	547	41	5330
23	51	7278	98	51	6630	173	51	6733	248	51	6630	323	61	9247	398	61	9360	473	41	5330	548	41	5330
24	51	6630	99	51	6622	174	51	6630	249	51	6630	324	61	9247	399	51	6630	474	41	5330	549	41	5330
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32	51	7296	107	51	6630	182	51	6630	257	51	7052	332	61	8870	407	51	6630	482	41	5330	557	41	5330
33	61	7930	108	56	9388	183	51	6630	258	51	7143	333	61	7930	408	51	6822	483	41	5330	558	41	5330
34	61	7930	109	56	8909	184	61	9524	259	51	7143	334	61	8240	409	51	7002	484	41	5330	559	41	5330
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36	61	8215	111	51	6983	186	61	9524	261	51	7143	336	61	9019	411	51	6757	486	41	5330	561	41	7240
37	61	13551	112	51	6630	187	61	9524	262	51	7332	337	61	9019	412	51	6630	487	41	5331	562	41	8558
38	61	13995	113	51	6630	188	61	9524	263	51	7280	338	61	9019	413	51	6630	488	41	6816	563	41	6488
39	61	13995	114	51	6630	189	61	9524	264	51	6630	339	61	9019	414	51	6630	489	41	6488	564	41	6541
40	61	11713	115	51	7280	190	61	8177	265	51	6630	340	61	9019	415	51	6630	490	41	6488	565	41	5954
41	61	8465	116	56	12050	191	61	7930	266	51	7373	341	61	8649	416	51	6630	491	41	6488	566	41	5330
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59	51	6630	134	51	6630	209	51	6630	284	51	6630	359	61	10573	434	51	6630	509	41	5330	584	41	5330
60	51	6933	135	51	6630	210	51	8003	285	51	6630	360	61	10390	435	51	6630	510	46	9272	585	41	5330
61	51	7232	136	51	7564	211	51	7163	286	51	6630	361	61	11435	436	41	6403	511	46	12713	586	41	5330
62	51	6630	13																				

THE GREENWAY AT LAKE LEE CONDITIONAL DISTRICT
GARAGE DISPOSITION STANDARDS

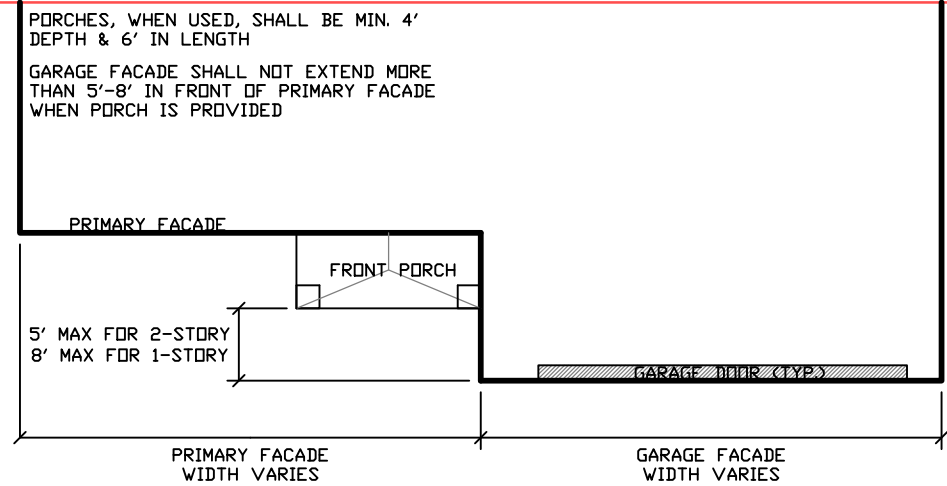
GARAGE FLUSH W/PRIMARY FACADE
(MIN. 20% OF ALL HOMES)



GARAGE EXT. 5.0' IN FRONT OF PRIMARY FACADE
(FOR HOMES WITHOUT PORCHES)



GARAGE EXT. 5' IN FRONT OF PRIMARY FACADE
(FOR HOMES WITH PORCHES)



THESE STANDARDS APPLY TO SINGLE FAMILY
DETACHED HOMES ONLY. SEE CONDITIONAL
NOTES (THIS PAGE) FOR TOWNHOME STANDARDS

COMMUNITY ARCHITECTURAL STANDARDS - RESIDENTIAL STANDARDS

GENERAL CONDITIONS:

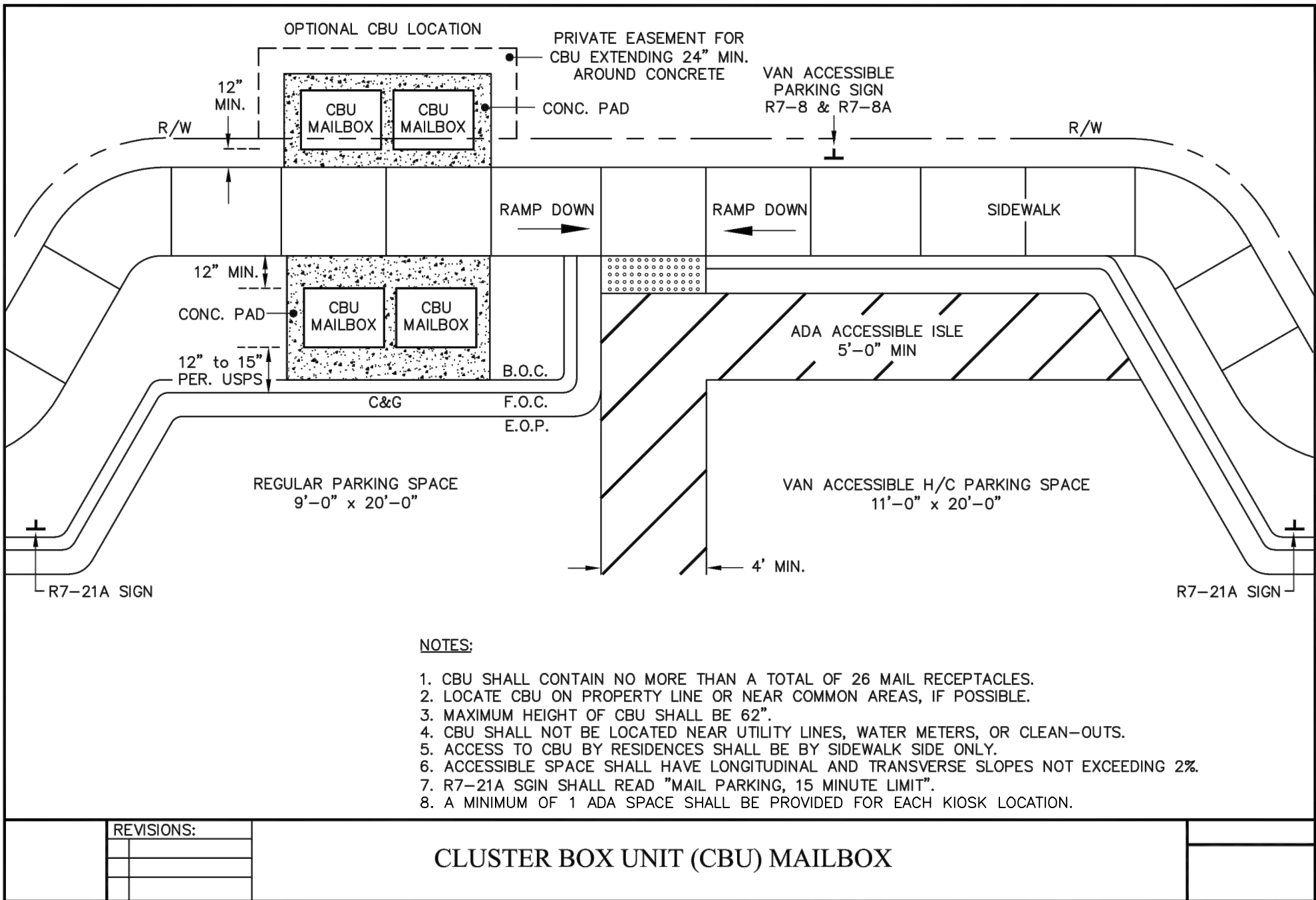
- 1.0 ALL ROADS WILL BE PUBLIC STREETS AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MONROE STANDARDS.
- 2.0 STREET TREES SHALL BE PROVIDED AS SPECIFIED UNDER CITY OF MONROE STANDARD NOTES AND CONDITIONS ON SHEET RZ-1 AND REQUIREMENTS ARE SEPARATE FROM THE FRONT YARD TREE REQUIREMENTS.
- 3.0 STREET TREES SHALL BE MIN. CALIPER OF 1-1/2 INCHES (1.5") MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHALL BE OF DIFFERENT VARIETY PER STREET AND BE A LARGE MATURING TREE.
- 4.0 EACH DETACHED RESIDENTIAL DWELLING UNIT/LOT SHALL PROVIDE AT LEAST ONE (1) FRONT YARD TREE LOCATED WITHIN THE FRONT SETBACK OF EACH LOT AND MAY BE EITHER LARGE OR SMALL MATURING TREE. TREE MUST BE MIN. CALIPER OF 1-1/2 INCHES (1.5") MEASURED 6 INCHES ABOVE GRADE. SEE SHEET RZ-1 FOR MORE SPECIFIC REQUIREMENTS.
- 5.0 STREET SIDEWALKS SHALL BE CONSTRUCTED WITH EACH HOME ALONG ALL STREET FRONTAGES (FRONT & CORNER YARDS).
- 6.0 ALL RESIDENTIAL DWELLING UNITS SHALL HAVE A TWO (2) CAR GARAGE AND MINIMUM 16' WIDE DRIVEWAY. DRIVEWAY SHALL EXTEND FROM FACE OF GARAGE TO BACK OF CURB AND CAPABLE OF HOLDING 2 VEHICLES.
- 7.0 ALL DRIVEWAYS/PARKING PADS MUST BE SURFACED WITH CONCRETE, ASPHALT, OR BRICK PAVERS.
- 8.0 GARAGES SHALL BE EQUIPPED WITH WINDOWS AND/OR CARRIAGE STYLE HARDWARE WHEN PROPOSING A SINGLE DOOR OR BE SEPARATED INTO TWO (2), 1-BAY GARAGE DOORS.
- 9.0 SIDE LOAD GARAGES (TRADITIONAL SIDE ENTRY OR COURTYARD ENTRY STYLE) ARE ENCOURAGED AND ARE NOT SUBJECT TO DESIGN CONDITIONS (DO NOT HAVE TO PROVIDE CARRIAGE STYLE HARDWARE OR BE BROKEN INTO TWO SEPARATE BAYS).
- 10.0 EXTERIOR BUILDING MATERIALS MAY INCLUDE BRICK, STONE, FIBER CEMENT (HARDIE BOARD OR EQUIVALENT), AND STUCCO. VINYL AND EIFS WILL ONLY BE PERMITTED AS TRIM, EAVES, SOFFITS, AND WINDOWS.
- 11.0 THE FRONT AND SIDE FACADES OF EACH RESIDENTIAL DWELLING UNIT SHALL BE PROVIDED WITH A BRICK OR STONE WATER TABLE THAT EXTENDS AT LEAST 18-INCHES ABOVE FINISHED FLOOR.
- 12.0 MAJORITY OF ALL ROOF AREAS ON ANY RESIDENTIAL DWELLING UNIT SHALL HAVE A MINIMUM 6/12 PITCH.
- 13.0 ALL ELEVATIONS, SUPPLEMENTAL DOCUMENTS, AND OTHER MATERIALS SUBMITTED TO PLANNING STAFF, PLANNING BOARD AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF THE REZONING PETITION SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED REZONING PLAN AND FULLY ENFORCEABLE. MINOR DEVIATIONS FROM SUBMITTED MATERIALS SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING COORDINATOR OR CITY ASSIGNED DESIGNEE.
- 14.0 ALL FRONT YARDS OF RESIDENTIAL LOTS/UNITS SHALL BE SODDED PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY (C.O.).
- 15.0 ALL REQUIRED LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
- 16.0 FRONT ELEVATION OF ALL RESIDENTIAL UNITS SHALL CONSIST OF A MINIMUM OF 25% BRICK, STONE, OR LIKE MATERIAL.

ATTACHED DWELLING UNITS:

- 1.0 THE MINIMUM LOT WIDTH PER UNIT SHALL BE 22 FEET, MEASURED AT THE FRONT SETBACK.
- 2.0 THE MINIMUM LOT SIZE PER UNIT SHALL BE 2,200 SQ.FT.
- 3.0 THE MINIMUM HEATED FLOOR SPACE SHALL BE 1,360 SQ.FT. (EXCLUDES GARAGE).
- 4.0 EACH ATTACHED UNIT SHALL BE OFFSET NO LESS THAN TWELVE (12) INCHES BETWEEN FRONT FACADES AND NO SINGULAR FRONT FACADE SHALL EXTEND MORE THAN TWENTY-FOUR (24) FEET WITHOUT A WALL BREAK OF AT LEAST TWELVE (12) INCHES.
- 5.0 GARAGE FACES SHALL NOT EXTEND MORE THAN 8 FEET IN FRONT OF THE PRIMARY FACADE (FRONT MOST LIVING SPACE) OF THE HOME OR NO MORE THAN 6 FEET IN FRONT OF A COVERED PORCH OR STOOP - WHICHEVER IS LEAST RESTRICTIVE.

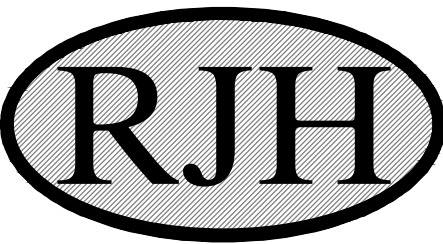
DETACHED DWELLING UNITS:

- 1.0 THE MINIMUM LOT WIDTH PER UNIT SHALL BE 41 FEET, MEASURED AT THE FRONT SETBACK (41, 51 & 61 FOOT LOTS PROVIDED).
- 2.0 THE MINIMUM LOT SIZE PER UNIT SHALL BE 5,300 SQ.FT. (RANGES FROM 5,300 - 17,905 SQ.FT.).
- 3.0 THE MINIMUM HEATED FLOOR SPACE SHALL BE 1,600 SQ.FT. (EXCLUDES GARAGE)(RANGES FROM 1,600 - 3,200+ SQ.FT.).
- 4.0 NO SINGULAR FRONT FACADE SHALL EXTEND MORE THAN TWENTY-FOUR (24) FEET WITHOUT A WALL BREAK OF AT LEAST TWELVE (12) INCHES (GARAGE FACES EXCLUDED IF PROVIDED WITH PORCH OR RECESSED STOOP).
- 5.0 PORCHES, STOOPS OR OTHER VARIATIONS TO BE PROVIDED THROUGHOUT THE COMMUNITY. WHEN PORCH IS PROVIDED, IT SHALL A MINIMUM DEPTH OF FOUR (4) FEET AND MINIMUM LENGTH OF SIX (6) FEET.
- 6.0 AT A MINIMUM, AT LEAST 20% OF ALL GARAGES WITHIN THE COMMUNITY SHALL BE FLUSH WITH PRIMARY FACADE OF THE HOME OR RECESSED. THE REMAINING 80% OF GARAGES/HOMES SHALL MEET THE FOLLOWING:
 - WHEN PROVIDED WITH A STOOP, SHALL NOT EXTEND MORE THAN FIVE (5) FEET IN FRONT OF THE PRIMARY FACADE OF HOME.
 - WHEN PROVIDED WITH A FRONT PORCH, SHALL NOT EXTEND MORE THAN FIVE (5) FEET IN FRONT OF THE PORCH FOR 2-STORY HOME AND EIGHT (8) FEET FOR 1-STORY HOME.



DATE	ISSUED FOR	REV
5/8/20	Submittal to City	0
8/17/20	Per City Review Comments Dated 6/11/20	1
10/14/20	Per City Review Comments Dated 10/9/20	2
10/21/20	Per City Review Comments Dated 10/21/20	3
11/30/20	Correct Commercial Development Acreage	4

Engineer:



R. Joe Harris & Associates, Inc.

Engineering • Land Surveying • Planning
Management

1186 Stonemont Boulevard, Fort Mill, S.C. 29708 P: (803) 802-1799

www.rjoe Harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal

Engineer's Seal

REZONING DOCUMENT
NOT FOR CONSTRUCTION

Project Manager	Drawn
-	B. Pridemore
Department Manager	Checked
-	-

Print/Plot Date

December 18, 2020

Client

STRATFORD LAND
3400 PEACHTREE ROAD, SUITE 650
ATLANTA, GEORGIA 30326
P: 404-924-8400

Project:

THE GREENWAY AT
LAKE LEE
CONDITIONAL DISTRICT

Drawing Title:

REZONING PLAN
Site Details &
Architectural Standards

Project No.

3366-Rezoning Plan

DWG File Name:

3366-Lake Lee CD Rezoning

Drawing No.

RZ-5

THIS PAGE IS FOR SAMPLE ILLUSTRATIVE PURPOSES AND GENERAL GUIDANCE FOR REQUIREMENTS. SEE SHEET RZ-1 AND SHEET RZ-5 FOR SPECIFIC REQUIREMENTS (CONDITIONS NOTED ON THOSE PLAN SHEETS SHALL GOVERN)

ARCHITECTURAL ELEMENTS

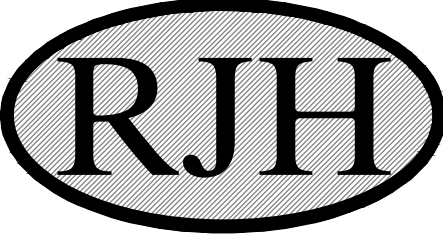
GARAGE DISPOSITION PLACEMENT				
NO - NOT PERMITTED		YES - PERMITTED		
				
GARAGE GREATER THAN 5' OR 8' IN FRONT OF PORCH (8' ALLOWED FOR RANCH STYLE HOMES)		GARAGE RECESSED BEHIND PRIMARY FACADE GARAGE FLUSH W/PRIMARY FACADE GARAGE LESS THAN 5' IN FRONT OF PORCH		
NO - NOT PERMITTED		YES - PERMITTED		
THIS SPOT VACANT				
	TEXTURED — NO CARRIAGE STYLE HARDWARE	DOOR W/CARRIAGE STYLE HARDWARE	DOOR W/CARRIAGE STYLE HARDWARE & WINDOWS	TWO BAY (SINGLE CAR) DOORS
FRONT FACADE WATER TABLE TREATMENT				
NO - NOT PERMITTED		YES - PERMITTED		
		THIS SPOT VACANT		
NO BRICK/STONE WATER TABLE	LIMITED WATER TABLE ON FRONT FACADE		STONE WATER TABLE	BRICK WATER TABLE
HOME FOUNDATIONS TREATMENTS FOR EXPOSED FOUNDATIONS				
NO - NOT PERMITTED		YES - PERMITTED		
				
BARE EXPOSED CONCRETE		BRICK VENEER FOUNDATION	COLORED PARGING OF FOUNDATION	STONE VENEER FOUNDATION

REPRESENTATIVE ARCHITECTURAL ELEVATIONS

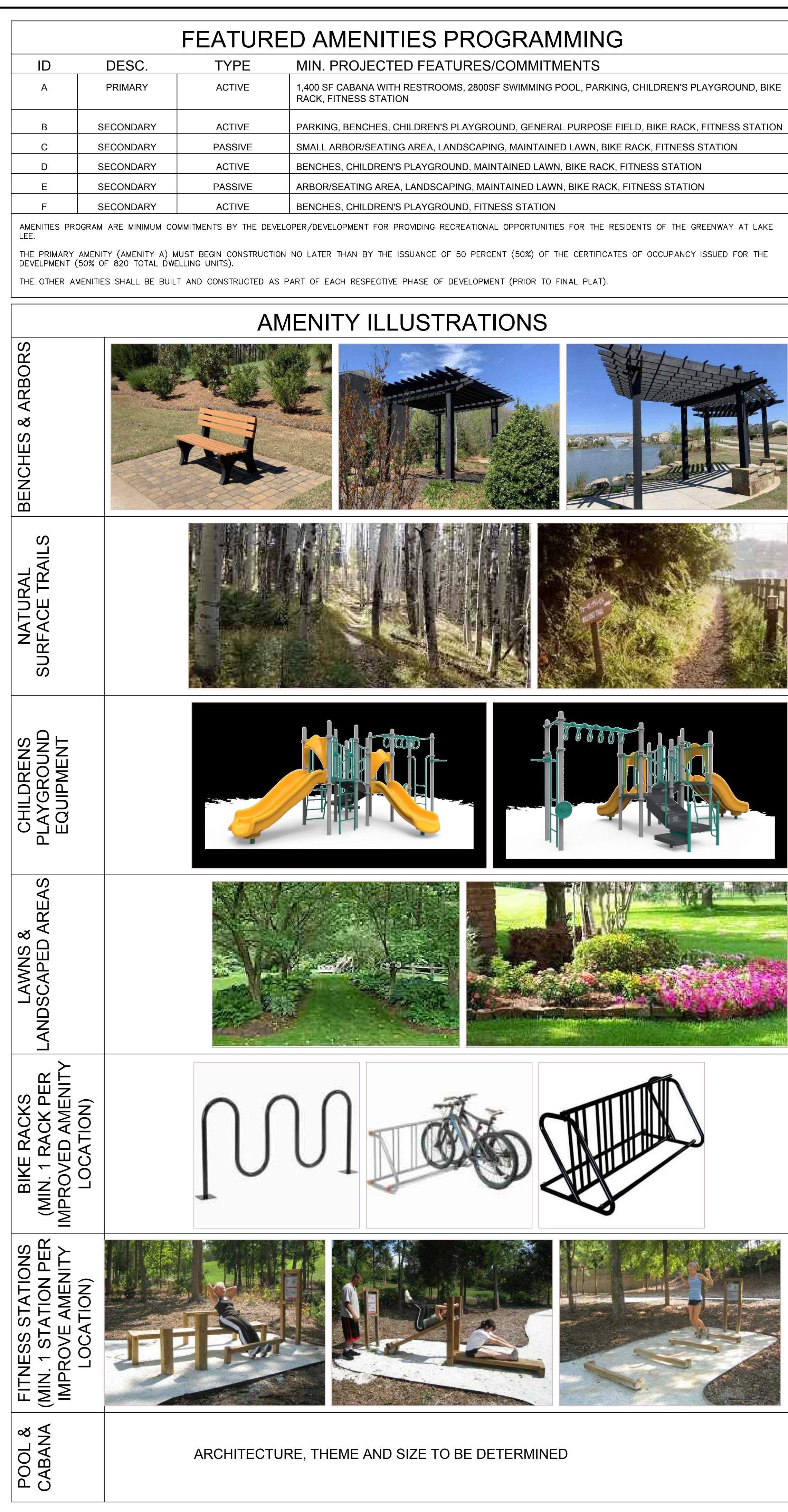
TOWNHOMES		41' LOTS	51' & 61' LOTS	
INTERIOR UNIT EXAMPLE				
				
				
END UNIT EXAMPLE			ALL HOUSING ELEVATIONS ARE SHOWN TO INDICATE GENERAL ARCHITECTURE OF HOUSING THAT WILL BE PERMITTED FOR THE PROJECT. THESE SAMPLES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND FINAL PRODUCTS TO BE PROVIDED BY BUILDERS AT TIME OF BUILDING PERMIT TO VERIFY GENERAL CONFORMANCE WITH INTENT OF THIS PLAN.	

DATE	ISSUED FOR	REV
5/8/20	Submittal to City	0
8/17/20	Per City Review Comments Dated 8/11/20	1
10/14/20	Per City Review Comments Dated 10/9/20	2
10/21/20	Per City Review Comments Dated 10/21/20	3
11/30/20	Correct Commercial Development Acreage	4



Engineer:	
	
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This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.	
Corporate Seal	Engineer's Seal
REZONING DOCUMENT NOT FOR CONSTRUCTION	

Project Manager	Drawn
-	B. Pridemore
Department Manager	Checked
-	-
Print/Plot Date	
December 18, 2020	
Client	
STRATFORD LAND	
3400 PEACHTREE ROAD, SUITE 650	
ATLANTA, GEORGIA 30326	
P: 404-924-8400	
Project:	
THE GREENWAY AT LAKE LEE	
CONDITIONAL DISTRICT	
Drawing Title:	
REZONING PLAN	
Architectural Standards	
Examples/Samples	
Project No.	Drawing No.
3366-Rezoning Plan	RZ-6
DWG File Name:	
3366-Lake Lee CD Rezoning	

Page 32 of 39

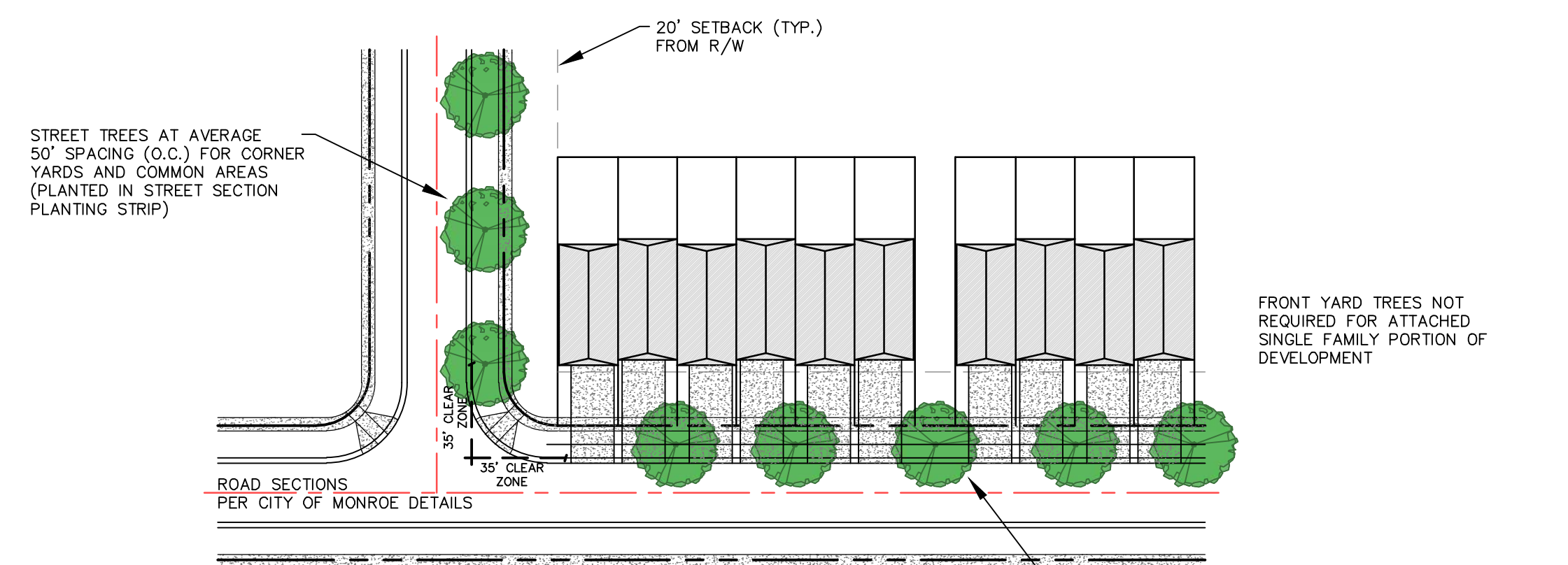


Diagram illustrating tree placement and clear zones at a street intersection:

- STREET TREES AT AVERAGE 50' SPACING (O.C.) FOR CORNER YARDS AND COMMON AREAS (PLANTED IN STREET SECTION PLANTING STRIP)**: Trees are planted along the street section planting strip.
- 35' CLEAR ZONE**: A clear zone is indicated for the corner of the intersection.
- 1 FRONT YARD TREE PER LOT (TYP.) UNLESS IN CONFLICT WITH INTERSECTION SIGHT TRIANGLES (NOT REQUIRED IF CREATES VISIBLE SAFETY ISSUE)**: A tree is shown planted in the front yard of a lot, with a note indicating it should not conflict with intersection sight triangles.
- ROAD SECTIONS PER CITY OF MONROE DETAILS**: The diagram shows the road sections as per the City of Monroe details.

Diagram illustrating tree placement and clear zones at a street intersection:

- STREET TREES AT AVERAGE 50' SPACING (O.C.) FOR CORNER YARDS AND COMMON AREAS (PLANTED IN STREET SECTION PLANTING STRIP)**: Points to the planting strip along the street corner.
- 35' CLEAR ZONE**: Indicated for the corner and along the street sections.
- 2 FRONT YARD TREES PER LOT (TYP.) UNLESS IN CONFLICT WITH INTERSECTION SIGHT TRIANGLES (NOT REQUIRED IF CREATES VISIBLE SAFETY ISSUE)**: Points to the trees planted in the front yards of the lots.
- ROAD SECTIONS PER CITY OF MONROE DETAILS**: Points to the road sections along the street.

LANDSCAPED BUFFERS MAY BE DISTURBED AND REPLANTED WITH A MIXTURE OF EVERGREEN AND DECIDUOUS TREES. BUFFERS DESIGNATED AS UNDISTURBED SHALL BE LEFT NATURAL.

Page 33 of 39

Future Lane Use Map

CD Greenway at Lake Lee

Legend

-  Centerlines
-  Parcels
-  City Limits
-  ETJ

FLUM

-  Rural
-  Suburban

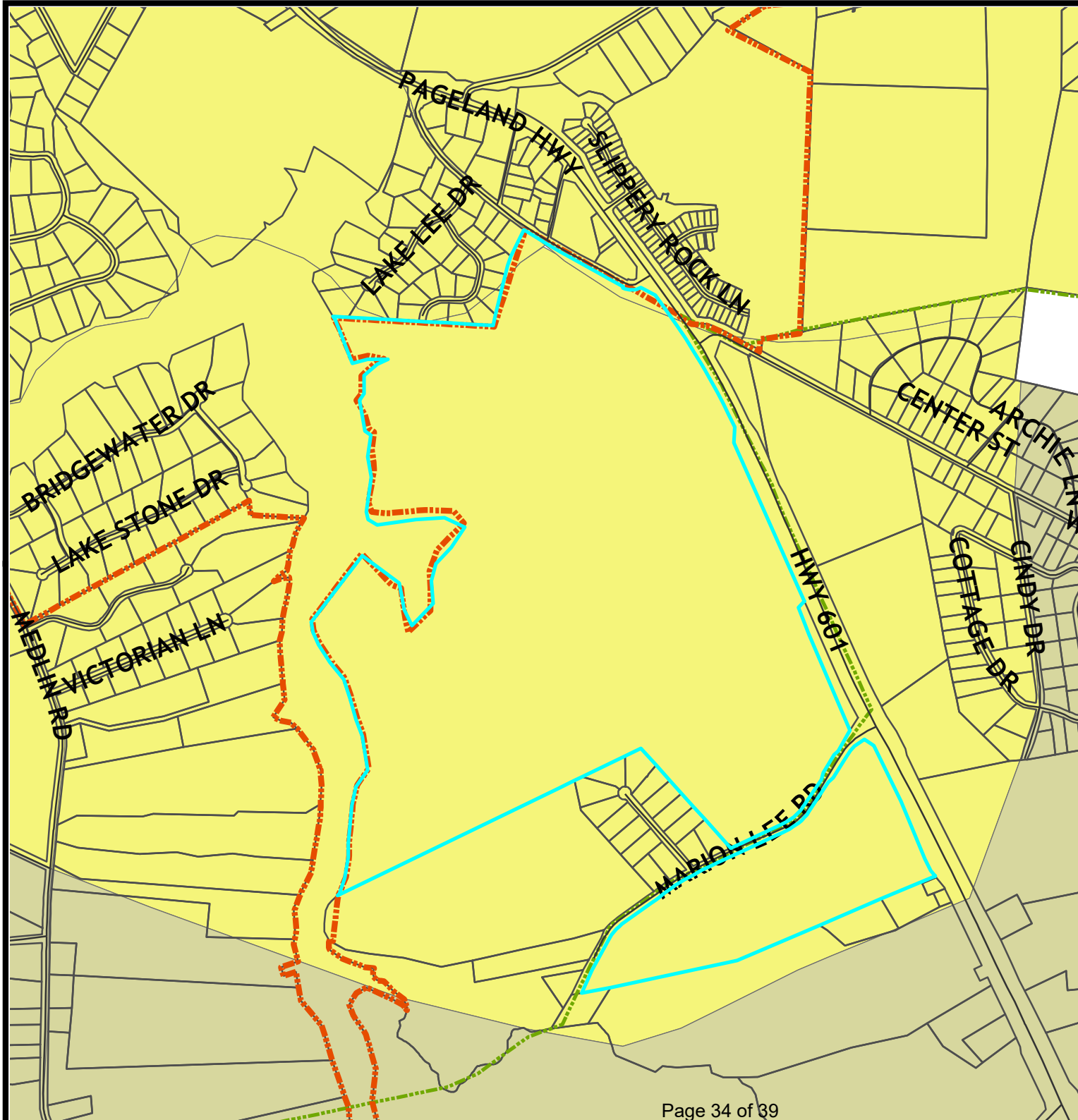
Existing: R-20 City of Monroe
and Union County RA-40

Owner: SLF II NC
Lake Lee, LLC

Acres: 340.514



0 920 1,840
Feet

Future Land Use Plan

The Land Development Plan indicates this area is Suburban. While residential uses typically take the form of neighborhoods with uniform housing types and densities, a mix of housing types and lot sizes is preferred in Suburban locations. Multimodal connectivity between neighborhoods and to nearby centers also should be emphasized. Strategic connections to the off-street multi-use trail network are preferred and open space should be preserved in both active and passive forms within neighborhoods. The density for suburban residential is 2-4 units per acre.

The proposed project is consistent with the Future Land Use Plan. Staff is of the opinion that this project is a reasonable use and in the public interest.

**RESOLUTION APPROVING LAND DEVELOPMENT PLAN COMPLIANCE
CONDITIONAL DISTRICT “THE GREENWAY AT LAKE LEE”
R-2021-XX**

WHEREAS, in accordance with the provisions of North Carolina General Statute 160A-383, the Planning Board does hereby find and determine that the adoption of the zoning map amendment for Conditional District “*THE GREENWAY AT LAKE LEE*” further described below property is consistent with the adopted Land Development Plan. The Land Development Plan identifies this area as Suburban. The suburban character area states the allowable residential density is 2-4 units per acre. The development is proposed at 2.54 units per acre and additionally it promotes open space preservation by providing more than one hundred fifty (150) acres of open space, and therefore is considered consistent with the plan. The proposed development is a reasonable use and in the public interest, because the suburban character area recommends a mix of housing types and lots sizes that this development will offer by providing single family attached townhomes and detached homes with lot sizes ranging from approximately 2,200 square feet to 14,000 square feet.

NOW, THEREFORE, BE IT RESOLVED that the Planning Board of the City of Monroe recommends adoption of the Resolution Approving Land Development Plan Compliance for property with Union County Tax Parcel Number(s): 09-125-132 & 09-128-001.

Adopted this 3rd day of February, 2021.

Mary Ann Rasberry, Vice Chair

Attest:

Maryann Brown, Secretary to Planning Board

**RESOLUTION DENYING LAND DEVELOPMENT PLAN COMPLIANCE
CONDITIONAL DISTRICT “THE GREENWAY AT LAKE LEE”
R-2021-XX**

WHEREAS, in accordance with the provisions of North Carolina General Statute 160A-383, the Planning Board does hereby find and determine that the adoption of the zoning map amendment for Conditional District “THE GREENWAY AT LAKE LEE” further described below property is consistent with the adopted Land Development Plan. The Land Development Plan identifies this area as Suburban. The suburban character area states the allowable residential density is 2-4 units per acre. The development is proposed at 2.54 units per acre and additionally it promotes open space preservation by providing more than one hundred fifty (150) acres of open space, and therefore is considered consistent with the plan. However, the proposed lot sizes for this development are significantly smaller than the existing surrounding lots and these additional lots on an already congested corridor could have a negative impact on the surrounding area; therefore, the proposed project is not a reasonable use or in the public interest. Based on this information, the conditions have changed which justify amending the Land Development Plan. As a result of this zoning map amendment request recommendation for denial, the Land Development Plan would be amended to reflect the land use modification.

NOW, THEREFORE, BE IT RESOLVED that the Planning Board of the City of Monroe recommends adoption of the Resolution Denying Land Development Plan Compliance for property with Union County Tax Parcel Number(s): 09-125-132 & 09-128-001.

Adopted this 3rd day of February, 2021.

Mary Ann Rasberry, Vice Chair

Attest:

Maryann Brown, Secretary to Planning Board

ORDINANCE TO AMEND CITY OF MONROE CODE OF ORDINANCES
TITLE XV: LAND USES
CHAPTER 156: ZONING CODE
O-2021-xx

Preamble

Pursuant to authority conferred by Chapter 160A-381 of the North Carolina General Statutes, as amended and for the purpose of promoting the health, safety, morals, or general welfare of the inhabitants of the City by lessening congestion in and around the streets; securing safety; preventing the overcrowding of land; avoiding undue congestion; and facilitating the adequate provision of transportation,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE THAT TITLE XV, CHAPTER 156 ZONING CODE OF THE CITY OF MONROE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:

Section 1. Amend §156.106 OFFICIAL ZONING MAP as follows:

Rezone the properties located along Marion Lee Road, US Highway 601 and White Store Road and further identified as tax parcel #'s 09-125-132 and 09-128-001. The request is to rezone the properties from City of Monroe R-20 and Union County RA-40 to Conditional District (CD) "The Greenway at Lake Lee".

Section 2. This Ordinance shall be effective upon adoption.

Adopted this 10th day of February, 2021.

Attest:

Bobby G. Kilgore, Mayor

Bridgette H. Robinson, City Clerk

ORDINANCE TO AMEND CITY OF MONROE CODE OF ORDINANCES
TITLE XV: LAND USES
CHAPTER 156: ZONING CODE
O-2021-xx

Preamble

Pursuant to authority conferred by Chapter 160A-381 of the North Carolina General Statutes, as amended and for the purpose of promoting the health, safety, morals, or general welfare of the inhabitants of the City by lessening congestion in and around the streets; securing safety; preventing the overcrowding of land; avoiding undue congestion; and facilitating the adequate provision of transportation,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE THAT TITLE XV, CHAPTER 156 ZONING CODE OF THE CITY OF MONROE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:

Section 1. Amend §156.98 **CONDITIONAL DISTRICTS ESTABLISHED** as follows:

Conditional District (CD) “The Greenway at Lake Lee”

Section 2. This Ordinance shall be effective upon adoption.

Adopted this 10th day of February, 2021.

Attest:

Bobby G. Kilgore, Mayor

Bridgette H. Robinson, City Clerk