

# **PLANNING BOARD MEETING**

**Wednesday, September 7, 2022**

**6:00 PM**

**Council Chambers  
300 West Crowell Street  
Monroe, NC**

- Item 1.        Call to Order – Roll Call**
- Item 2.        Approval of Minutes –July 13, 2022**
- Item 3.        Zoning map and text amendment for the properties located along W. Jefferson St. and W. Crowell St. further identified as tax parcels: 09-273-004A, 09-273-004B, 09-273-004C, 09-273-004D, 09-273-004E, 09-273-004F from RMD (Residential Medium Density) to Conditional District (CD) “Jefferson & Crowell”.**
- Item 4.        Zoning map and text amendment for the properties located along Old Charlotte Highway further identified as tax parcels: 09-301-059, 09-301-059A, 09-301-060A, 09-301-045, and 09-301-047. The request is to rezone the properties from NB (Neighborhood Business), RMD (Residential Medium Density), and RLD (Residential Low Density) to Conditional District “Regent Pines - 2022”.**
- Item 6.        Next Meeting: October 5, 2022**
- Item 7.        Adjournment**

## ***ATTENTION BOARD MEMBERS:***

**Please contact Ashlyn Penegar at 704.282.4527 or Lisa Stiwinter at 704.282.4569 to confirm your attendance. Thank you.**

**cc:            Planning Staff  
                Ashley Britt  
                Mujeeb Shah-Khan**

# PLANNING BOARD MEETING

July 13, 2022 @ 6:00 PM  
City Hall – Council Chambers  
300 W. Crowell Street, Monroe, NC

*Emailed to S. Laney on: 8/22/22*

## **Item 1. Call to Order/Roll Call**

Chair called the July 13, 2022 meeting to order at 6:02 p.m. The Chair called the roll and noted there was a quorum was present.

**Members Present:** Richard Yercheck (Chair), Jennifer Smith (Vice Chair), Richard Ali, Patrick Furr, Kenneth Deal, David Dotson and Archie Morgan

**Members Absent:** Margaret Desio

**Staff Present:** Doug Britt, Senior Planner; Keri Mendler, Senior Planner, Ashley Britt, Assistant City Attorney, Ashlyn Penegar, Administrative Assistant II

**Guests:** Ben Russell, Stephen Bennet, Todd Akers, Shawn Santee, Dennis Rorie, Brandon Pridemore, Kyra Hahn, John Littner, Sara Shirley, John Gallina, Paula Cockerham, Jess Perry

## **Item 2. Approval of Minutes of Meeting- June 1, 2022**

**Motion:** Kenneth Deal made a motion to approve the June 1, 2022 minutes.

**Second:** Archie Morgan

**Action:** The motion to approve the minutes passed unanimously with the following votes:

**AYES:** Richard Yercheck, Jennifer Smith, Richard Ali, Patrick Furr, Kenneth Deal  
David Dotson and Archie Morgan

**NAYS:** None

## **Item 3. Annexation request of 157.47 acres located at the intersection of E. East Avenue, N. Sutherland Avenue and Stafford Street Extension and further identified with Tax Parcel #'s 09-180-004-H90, 09-180-004-K, and 09-180-004-M**

Doug Britt, Senior Planner, approached and said this is a request to annex 157.47 acres as stated at the intersection of East Avenue and Stafford Street Extension. The property has already been zoned, so the request is only to proceed with the annexation. Staff does recommend approval and I will be glad to answer any questions if you have any at this time.

Chair asked do we have an idea of what they want to put on this piece of property that we are...

Doug Britt said I defer to the applicant, but it's actually under construction right now. It's a distribution facility. This is one that we rezoned a few months ago and the site is under construction now.

Chair asked if anybody has any other questions for Doug?

Jennifer Smith asked what kind of facility?

Doug Britt said it's a distribution facility for packages and what not. I will defer to the applicant if they would like to state the tenant.

Archie Morgan asked it's got to be approved?

Doug Britt said the construction plans have been approved and it's under construction. The property has been rezoned by both you and the Council. This is just the last piece. This property was already in the ETJ, so we already had the zoning, so now we are just going through the annexation. Another thing the annexation is for, is for a utility standpoint.

Chair said so this is going to be a business distribution warehouse type of business that's going to go in.

Kenneth Deal said I think I remember this project, but just for clarification, the top portion there that you have highlighted in blue on the site plan, that is the family's residences and the portion of the lake, is that part of the annexation request as well?

Doug Britt said it is.

Kenneth Deal asked, the residences there want to be annexed into the City?

Doug Britt said it's part of the annexation request, that's correct.

Kenneth Deal said thanks, that's what I thought.

Archie Morgan asked if they don't get this annexation request, does that mean their project is dead in the water or no?

Doug Britt said no, because like I said, it's already under construction.

Patrick Furr said but, it's under construction in Union County and in the Extraterritorial Jurisdiction, but it has not been accepted into the City. So, technically it's in Union County.

Doug Britt said technically it is, but technically it's under our sphere of influence which we have zoning and permitting control over.

Chair said if we annex them in, we are going to get all the tax benefits for having a business.

Doug Britt said the whole reason as I stated before, the reason for the annexation is for utilities because if it's not in the City limits, they pay double taps and double capacity rates for the property outside of the city limits and plus if it's outside of the city limits, it has to be decided upon by the City Council and the Board of Commissioners for us to serve outside of the city limits. The City is under no obligation to serve outside of the city limits and typically we do not, but from our typical standpoint, if we are going to serve it, we are going to collect the taxes off the property.

Chair asked if anyone has any questions for Doug? There were none.

Chair said Doug, thank you very much. Would anybody like to speak in favor of this annexation?

Darius Olesky with Suncap Properties stepped forward and introduced himself and said we are the developer of the property and I am here to answer any questions that you might have.

Chair asked are you at liberty to tell us the name of the business and what they will be doing at this point in time?

Mr. Olesky said the tenant is Fedex Ground and it's going to be a small package warehousing distributions center.

Chair said fabulous.

Jennifer Smith (Vice Chair) asked kind of like the UPS place that is down here?

Mr. Olesky said I am not familiar with that, if it's a large scale package distribution, there is no retail component with that one.

Patrick Furr asked how many employees is it going to have, do you know?

Mr. Olesky said I don't know.

Chair asked the Board if there are any other questions for Mr. Olesky. There were none.

Chair asked if there is anyone else that would like to speak in favor of this project? Is there anyone that would like to speak against this? Seeing none, hearing none, I will entertain a motion.

**Motion:** David Dotson made a motion to recommend approval of the annexation of 157.47 acres located at the intersection of E. East Avenue, N. Sutherland Avenue and Stafford Street Extension and further identified as tax parcels 09-180-004-H90, 09-180-004-K, and 09-180-004-M.

**Second:** Kenneth Deal

**Action:** The motion to recommend approval of the annexation passed with the following votes:

**AYES:** Richard Yercheck, Jennifer Smith, Kenneth Deal, Archie Morgan, Richard Ali, David Dotson and Patrick Furr

**NAYS:** None

**Item 4. Zoning map and text amendment for the properties located along Old Charlotte Highway further identified as tax parcels: 09-301-059, 09-301-059A, 09-301-060A, 09-301-045, and 09-301-047. The request is to rezone the properties from NB (Neighborhood Business), RMD (Residential Medium Density), and RLD (Residential Low Density) to Conditional District “Regent Pines - 2022”.**

Keri Mendler, Senior Planner, introduced herself and said tonight I am presenting a zoning map and text amendment request from Old Charlotte Land Group for property located along Old Charlotte Highway. The project was submitted in February, which was prior to the existing Unified Development Ordinance, so this project is being processed under the prior code.

The applicant, Old Charlotte Land Group, is requesting a Conditional District rezoning in order to develop 99 detached single-family homes. The total area of the project is 30.03 acres with 14 acres (46.6%) of open space. The site is currently zoned a mixture of Business and Residential. The properties can currently be developed for commercial uses on the front portion and residential uses on the rear portion. The property to the North and East is zoned Residential and the property to the South is zoned Residential and Business and the property to the West, across Old Charlotte Highway is zoned Industrial. Again, the applicant is requesting a Conditional District rezoning in order to develop 99 detached single-family homes. The total area of the project is 30.03 acres with 14 acres (46.6%) of open space.

#### **Density & Dimensional Standards**

The density of this project is 3.3 units per acre. The minimum lot size for the homes is 3,674 square feet. The minimum lot width for the homes is 35-feet.

#### **Landscaping**

Street trees will be planted every 50-feet and will be 3-inches in caliper at time of planting. Front yard trees will be planted at a rate of one (1) tree per lot and will be 1 ½ inches in caliper at the time of planting. A 25-foot landscape buffer is also being proposed around the site.

#### **Open Space**

The project is required to provide 12.5% open space, which would equal 3.75 acres. The applicant has provided 14 acres, which is 46.6% of the total site. The open space will also include a passive gathering area with benches and landscaping as well as a natural walking path at the rear of the site.

#### **Sidewalk**

Five-foot wide sidewalks will be provided along both sides of all interior streets. Additionally, a ten-foot wide multi-use path will be installed along Old Charlotte Highway.

#### **Transportation**

The project is located along Old Charlotte Highway, between Roland Drive and Arnold Drive. The project will be accessed by one entrance on Old Charlotte Highway and one entrance on Roland Drive. The North Carolina Department of Transportation and the City of Monroe did not require a traffic impact analysis for this project; however, the project is required to construct a right deceleration lane and a left turn lane into this development from Old Charlotte Highway.

#### **Elevations**

The developer is proposing the exterior building materials to include fiber cement, stone, stucco, or brick. Vinyl and EFIS will only be utilized for trim, eaves, soffits, and windows. The minimum heated floor area of the homes is 1,500 square feet. The front façade will also include 25% brick or stone. Just to clarify, these will be rear road access driveways, so with the front elevations, they don't have the garages and that is again because they would be on the rear access by an alley.

### **Parking**

The applicant is proposing that all homes will have a two-car rear load garage, which will be accessed by alleyways. Each driveway will be able to accommodate at least two (2) vehicles.

### **Public Notification**

The applicant sent a neighborhood notification letter to adjoining property owners on February 25, 2022. Staff does not recall receiving any phone calls from when these letters were mailed. A rezoning notification sign will be posted 10 days prior to the public hearing. An official rezoning notification letter will be sent to the adjacent property owners located within 150 feet, 10 days prior to the public hearing.

Keri Mendler said you may recall a similar project on this property came before you guys last fall, I believe, and it was for a townhome project. They did hold a neighborhood meeting at that point, so they did just send out a neighborhood notification letter for this project. This project is less units and it wasn't negatively received at that time for the townhome project, so staff believes that would be a reasonable notification.

### **Land Use and Transportation Plan Consistency**

The Land Use and Transportation Plan indicates this area is Suburban. While residential uses typically take the form of neighborhoods with uniform housing types and densities, a mix of housing types and lot sizes is preferred in Suburban locations. Attached and multi-family housing is suitable in mixed-housing neighborhoods and activity centers. Commercial development mostly serves the needs of nearby residents and often locates along corridors with higher traffic volumes and near prominent intersections. Emphasis should be placed on integrating the design of commercial centers with surrounding neighborhoods. Multimodal connectivity between neighborhoods and to nearby centers also should be emphasized. Strategic connections to the off-street multi-use trail network are preferred and open space should be preserved in both active and passive forms within neighborhoods.

Keri Mendler said this project is consistent with the future land use plan and staff does recommend approval of this rezoning. I will be happy to answer any questions you may have and the applicant is here as well.

Chair asked Keri, did we have a tent city there at some point in time?

Keri Mendler said I am not aware. Doug, do you know? (Doug shook his head no) She said sometimes he hears those things, but I am not aware of anything, but it is a wooded area currently.

Archie Morgan asked did this come before the Planning Board before as a different project?

Keri Mendler said yes, townhomes. It was sometime last Fall.

Archie Morgan asked was it rejected?

Jennifer Smith (Vice Chair) said yes.

Keri Mendler said yes, Council denied that project. So, they went back to the drawing board and went to a detached product and reduced the number of lots. I believe they are around 130 townhomes, so they have dropped below the 100 lots, so they are at 99 detached homes.

Chair said I think the big issue was the number of units that were going to be on that property. I'm sure the applicant can tell us more about the product.

Archie Morgan said I was curious about the amount of open space.

Kenneth Deal asked Keri, what is the actual density that the project will bring?

Keri Mendler said it's 3.3 units per acre is the density.

Chair asked if anybody else has any other questions for Keri? There were none. He thanked Keri. Is there anybody that would like to speak in favor of this project?

Stephen Bennet stepped forward and introduced himself. He said I am an attorney here in Monroe and I represent the applicant. We've actually got a fair amount of people here. We've got the applicant, the builder, we have some folks from Purple Heart Homes that are going to tell you about an interesting portion of this project.

Richard Ali asked before you get started, is there any way that we can make the volume a little louder?

Stephen Bennet said I will try to use my Broadway voice. I'm going to try not to be too duplicative here because I think Keri has hit a lot of the good highlights on this. Of course, this is the site plan and this proposal is 99 detached units; the prior proposal was 175 townhomes, so this is about a 40% reduction in units and obviously that changes the density quite a bit. I actually added up all of the parcels on GIS and I got 30.14 acres and I think this has also been portrayed as 30.03 acres, but we will say it's a touch over 30, how about that. The density is 3.3 units per acre and current zoning is a mixture. But, 98% of it is neighborhood business and residential medium density. So, right along Old Charlotte Highway, there is a 5 acre parcel that is neighborhood business and essentially all the way back to Nottingham apartments is medium density. The builder for this is Meritage Homes and we've got a couple of guys here from Meritage tonight and we are going to have John Littner speak in a little while and eventually, later on, he's going to tell you about what Meritage is and what they would like to do. But, they are what you call a trees to keys builder and that means they are the developer, they are the builder and they are sales. So, it's not outsourced to a variety of companies, they are there from the very beginning to the very end. I think Keri mentioned the surrounding uses as you know we have Nottingham apartment towards the northeast, north and south we've got residential and across Old Charlotte Highway we have industrial, so in my opinion, fits into the character and that's exactly what we need, medium density between low density and high density. Future land use plan as Keri mentioned had this area labeled as kind of suburban, which is 2-4 units per acre, so 3.3 fits kind of right exactly in what we are looking for. One thing I do want to point out is 3.3 units per acre and the 99 units we are proposing is actually less intensive than it could be. Because neighborhood business, you can actually put 10 units per acre for residential care facility on that, residential medium density, you can put anywhere between 3-4 depending if you are doing a cluster development. So, 99 units is actually less than what this could be fully built out as, so we hope you take that into consideration. Project specifics, the price point we are shooting for is \$375,000-\$425,000. Square footage is going to be between 1,800-2,200. I know there was a minimum and the minimum was 1,500, but this is where we are aiming for. The lots are 35 ft. wide, but there is also public alleyways. A couple comments on that, first of all, public alleyways means they are built to a different standard. This is one of the first cases I've ever had, with litigation about the Bonterra alleyways up in Indian Trail, which were essentially a 1 inch piece of pavement on dirt. These are built to public standards and they are going to be constructed quite a bit differently

and they can handle garbage trucks coming up and down them without tearing up the streets, but that also puts the garages in the back of the house. So, we don't have the 50 ft. lots and half of it, you see a garage door. So, we are going to have 2 car garages, but they are going to be on the rear of the lot and the entire yard is going to be sodded. The target buyers are young professionals, right sizing adults, families with kids and those are the folks that we are kind of anticipating that don't want a big yard. I can tell you that when I was a young man, I didn't really want to cut a lot of grass because I was here working all the time. I specifically moved out of Charlotte to a smaller yard and something like this would have been something I was interested in back when I was 30. What we are posing is going to look fairly similar to this (shows slide on the screen of a similar neighborhood) and it's going to be a porch and side walk community. We have a lot of nice gathering areas of everyone's porches and they are right there close to the sidewalks, which are going to be 5 ft. wide on both sides of the streets. We are trying to get people out and enjoy the world. As Keri mentioned, the total open space on this one is 14 acres, so it's about 47% of the project. Meritage has committed to a cap on the rentals of 20% that would be put in the restrictive covenants from the get go and the HOA can enforce that going forward. A typical way is they have a "Rental" list and if you want to rent, you get on the list until such time as it's capped, then you have to wait. I am assuming that you guys are familiar with that. We will have 3 inch street trees, 1 1/2 inch trees for each lot and we are going to do street lighting consistent with Duke Energy's lighting options. The goal there is to create buffers around the street lots and to not shine light into everybody's bedroom windows. Amenities, we kind of highlighted the 2 areas that we have, at the front, we have the passive amenity area with benches, landscaping, we've got a trail in the back, 5 ft. sidewalks on all the streets and we've also got a 10 ft. wide multi-use path on Old Charlotte Highway. There is kind of a reason why we did it this way, first of all, it's a small site, it's 30 acres and we are also bounded by a stream in the back that has a 50 ft. stream buffer on either side. So, it's kind of artificially limited by geography. Additional, think about where this is located too. It's right down the street from several parks in the city. We've got the Aquatic Center, we've got Rolling Hills Country Club, we've got Crossfit, there is a lot of things for folks to do and so I know it's interesting to live in a community that has a bunch of amenities, but with that comes a lot of cost and that's passed on in the form of HOA dues. What we are really highlighting here is we've got a lot of opportunities in Monroe, we want people to get out and be in Monroe and be a part of Monroe and give them the chance to decide what they want to do while keeping the HOA costs down. That's the goal with this one. Entrance way, we've got a dedicated right in and a left in and this is kind of interesting in the sense that we couldn't even do a traffic study because the DOT said it was unnecessary. Kimley Horn, the Engineer firm, reached out to the DOT, who said no, no traffic light, so it's not much traffic, but we have the dedicated left in and the dedicated right in and I think that's more than enough to handle this community.

Archie Morgan asked is there also an entrance on Roland Drive?

Stephen Bennet said I believe so, yes. As I mentioned before, the builder is Meritage Homes and they've got 4-5 floor plans for this community and 4-5 unique elevations per 20 different paint schemes. So, if you do the math on that, we've got about 300 different ways to make a house in here. We have 99 units and there is a fair chance that none of them could look the same. There is going to be an HOA and one of the many things the HOA is tasked with is monotony and that's usually one big section in the covenants and restrictions. You have those folks on the A.R.C., who are tasked to make sure that this color isn't next to this color and this elevation can't be next to this elevation and so the reason to do that is to create an interesting neighborhood. So you have 4 different kinds of houses like these and interesting streets with nothing the same. Researching this project, to be fair, there are some developments in Monroe that one might classify as monotonous and they look all the same and they are all the same box shape with maybe a different color of roof, but that's about it. That's not what the goal is with this neighborhood. Keri mentioned this, but this is primarily going to be hardiplank construction and we've got masonry elements with brick and stone water tables. There is a minimum of 25 % masonry on each elevation. As I mentioned before, we've got the 2 car garages and it's alley loaded only. To keep things interesting, we've got different gable locations, different columns, different porch configurations, material schemes. That's how we keep things different. Keri mentioned in the prior project, the neighborhood meeting

and I was not involved in this project at that time, but from what I understand, I think there was maybe 3 people who showed up at the meeting. At that concerns, the main concern was traffic. Obviously one of the big differences between this project and the prior version is it's not 175 townhomes anymore, it's 99 units. Todd Akers who is connected with Santee Land Group went and visited all the folks that came to that neighborhood meeting this week and I believe we had some letters that were emailed out to everybody, perhaps yesterday. Two of those people signed on to a letter supporting it, the other one wasn't going to oppose it, but wasn't present to actually sign in. One of the neighboring properties is a church and we've got a letter of support from that church and they've always been in support of the project, whether it was townhomes or detached houses. I don't really have any negative neighborhood feedback to talk to you about, everybody seems in favor of it and they're excited about the price point because I think it helps the value of their homes. Traffic has been addressed. We have the 25 ft. landscape buffers around it, but I will also point out that, it's not just the landscape buffer that removes this from houses that are adjacent to the project, we also have the alleyways. The alleyway to the north is 50 ft. wide. We've got a 25 ft. landscape buffer with a 50 ft. alleyway, that's at least 75 ft. before you even get to the lot, let alone the house that has a setback in addition to the buffer. It's quite a setback from the lots that are adjacent. Additionally, it cleans up that area and maybe there hasn't been a tent city, but I think there has been people living there.

Archie Morgan asked, these lots are about a third of an acre?

David Dotson said it's .08 acres.

Mr. Bennett said .1 acres would be about 4,000 square feet and I think the minimum lot size is a touch beyond 3,000 square feet. I'm going to ask John Littner from Meritage to come up and talk to you about a couple things, then I'm going to wrap up after that.

John Littner stepped up to the podium and said I am John Littner and I'm with Meritage Homes and I am in land acquisition. Good evening, I wasn't planning on presenting about Meritage Homes. There has been a ton of information presented by Stephen and Keri, that I really just wanted to come up and answer any questions you guys have about our product. I think we've spent a lot of time on the project and a lot of the benefits of the project. I will say one thing about this project, it's really the only alley fed project that I'm aware of in Monroe. My team here has done 4 other of these type of projects with this type of products. We've got product on the ground in Huntersville, we've got product on the ground in Mint Hill, in Pineville and in Belmont in Gaston County. We are just very excited about the development of this product and really excited about the uniqueness of this project. But again, back to the product, I really just wanted to come up and introduce myself and see if y'all had any questions.

Jennifer Smith (Vice Chair) said I have one question.

Mr. Littner said absolutely.

Jennifer Smith (Vice Chair) said there isn't really any place for overflow of parking, like for parties or whatever else. I guess they would have to park in the front of the houses and up and down the street?

Mr. Littner said they would park in the alley, so we do have driveways that can accommodate 2 cars and all of this project has a 2 car garage. So, you can get between the driveway and the garage, you can park 4 cars on the individual lots. So, that's a good amount of parking on the lots.

Archie Morgan asked, overflow would be the alley?

Mr. Littner said well, you wouldn't be able to park in the alley. But, I've got the Engineer, Brandon, here that can probably answer that.  
Board members discuss.

Brandon Pridemore came forward and said I am with Santee Land Group and I'm the Civil Engineer. We didn't provide overflow parking just because unlike a lot of townhome projects that I see where they traditionally just do maybe a one car or two car or a mix. We do provide a 2 car garage and a 2 car parking spot. But, for special events where people are going to park elsewhere, are people going to park on the streets? Maybe. But, generally within our communities that we see like this, they won't park on the streets on a day to day, just on special events and maybe on weekends.

Jennifer Smith (Vice Chair) asked is it going to be allowed, period?

Mr. Pridemore said within the HOA, they will speak to parking overnight and that would be enforced within the covenants and the bylaws.

Jennifer Smith (Vice Chair) said that's good.

Mr. Pridemore said there will be city streets that the city has the right to enforce, according to your policies, as well.

Chair said I am not anticipating everyone having a party on the same night.

Kenneth Deal said if you have a gathering, you pretty much have to have good neighbors that will allow you to block their driveways to bring in extra cars. There is no place else to go. Has anything thought gone into areas where the community can come together? There is not adult gathering area, there is no playground for the kids. All the amenities you've mentioned that Monroe has built up quite nicely is all driving distance. You don't have any walking distance relief for these 99 families to enjoy their own neighborhood.

Mr. Littner said I think it just speaks to the uniqueness and the size. I know Stephen mentioned the lifestyle location, there is the Aquatic Center, there's the county club, there is quite a bit of fitness facilities, there is a park, so we really think this is kind of a boutique. Almost like an infield project where it is lifestyle and as you get older and you don't want to spend all weekend cutting your grass, you want to watch your kids grow up and watch them do their activities. A lot of times that takes place in and around the town you live in and we expect the same thing with this project.

Kenneth Deal said my concern is, when you have young children growing up in these starter neighborhoods like this, they are going to be out in the streets because they have no place else. They are going to be in the streets on their bicycles and their scooters, their wagons, there is no place for them to go in this neighborhood.

Archie Morgan said as far as the Aquatics Center, there is a charge for that. You can't count Rolling Hills, because that's members only.

David Dotson said I don't see where it connects anything to any of those things.

Kenneth Deal said no, it doesn't.

Mr. Littner said if I can speak to that, while there is not like a traditional amenity, for a site this small, we have to be mindful of skill and maintenance and cost. But, if you look at it, we've got peppered throughout the site, areas where people can congregate. Again, they may not be more formal areas per say, but we have the mail

kiosk, that's going to be a lawn area and it will be usable. This site is general and rolling and we've got pockets everywhere where people can go and congregate. We are showing you what we think is reasonable, but Meritage will come up with a more formal plan, the HOA as well. But, we've got ideal open space in the front and we want to save some trees and we wanted to create that visual break from the highway so you don't just see a bunch of rooftops. You definitely won't see any garages since we are going to be rear loaded and you are just looking at the front or the sides. Then, if you look at the back, that's going to be a nice, flat area back there. There are going to be places for people to go and walk their dogs and for kids to go out and play on the lawn so to speak. It's not that we just omit it and say go elsewhere. There are opportunities, it's just we haven't fully developed those just yet, other than those 2 specific areas that were pointed out.

Archie Morgan said but you have 14 acres and 46% open space. Can you not put a swing set or 2 or something in there? You've got the space for it.

Mr. Pridemore said that would be programming on their part.

Mr. Littner said we do extensive market research before we do any project and I know Richard, we were sharing with you when we met, we see this as a mixture of buyers and what I mean is there is going to be many age groups here and we spoke about the young families that could be a small portion of the buyers here. I can see right sizing, active adults here, I can see young couples without kids and I can see some children. We believe that the open space and some of these passive amenities, that Brandon (Pridemore) has provided on the site plan, will be a good benefit for all these different buyers and based on his research.

David Dotson asked so these lots are all alley fed to the garages? And the front will all face each other, is that correct?

Mr. Pridemore said the forward faced roads will face each other, yes.

David Dotson said ok, so no matter what unit you buy, you are either facing another house, correct? Or you are facing an alleyway?

Mr. Pridemore said no, no, you don't face alleyways, you are going to face open space or an opposing house.

Chair said back to back, right.

Mr. Pridemore said yes.

David Dotson said so no matter what, you are going to face one of these roadways.

Mr. Pridemore said that is correct.

David Dotson said my other question is, are all these residences 1,500 square ft., they are \$375,000 starting at, correct?

Mr. Littner said they start at 1,800 square ft. and they flex up to 2,500 square ft.

David Dotson said you have no active open space and no sidewalks will connect you to any of the parks or anything else that we have in that area. Who is going to purchase this home? What family do you think is going to purchase a .08 acre home? Who do you think would do that long term?

Mr. Littner said I think it's a unique project with these alleys and I think it's going to be very desirable. I think it's going to be a portion of families, but I think again it could be some folks that maybe want to down size. They are in Monroe and they are on an acre lot and their kids are out and they are like you know what, we want to get closer to the park or the golf course or the Aquatic Center to watch our grandkids. So, I think it really is going to be a really diverse group of buyers here. I really do.

David Dotson said my concern is that you are going to have the traffic coming out and it's going to try to feed out on Roland, I'm going to assume, because I don't know if you've ever tried to get out and I have, because my son lives on Old Charlotte Highway. I don't know if you've ever tried to get out on Old Charlotte Highway anytime of the day with the UPS trucks, the ConMet trucks, the regular traffic, it's a nightmare. So, a lot of those are going to feed out on Roland, I would assume, then they are going to clog up on one end or the other, so I'm kind of concerned about that too. I have one more question, you say the Purple Heart Program, where is that going to be written in, is that going to be somewhere where we can see? So, that's nothing set in stone and nothing we can see tonight?

Chair said they are going to talk about that in a few minutes.

Jennifer Smith (Vice Chair) said I would rather see a project like this there for that space then a bunch of apartments of townhouses that can be totally worse and the price point that they are doing these at, the people that are 55 and older that a broad range of families and whatever can buy.

Mr. Littner said I mentioned 4 other projects that we do have in the region and if you drive through all 4 of those communities, it is really a mix of ages and a demographics.

Mr. Pridemore said I can attest to that. We've designed a few and had them built in urban areas and we do this really as an infill project and to your point Ms. Smith, they've been very successful and very well maintained, very good buyers.

Chair asked what is an infill project?

Mr. Pridemore said it just means you aren't sitting remote where you are surrounded by development and there aren't many opportunities to replicate this. You can't just build this and say we are going to build it right next door because the land is available. When we say infill, it just means that it's a unique opportunity and that's really what I'm getting at.

Mr. Bennet said I would like to talk kind of on the idea of the amenities within various neighborhoods and communities. 8 years ago, my wife and I moved from Charlotte down to Waxhaw and we moved to Millbridge and I immediately regretted it because I didn't have kids, that was not our plan to have kids and there were kids running through my front yard every single day and that's not what I wanted at that time and some people don't want that. We've had kids, it's great, but I'm there for 2 more days and I am out of there and I'm not looking back. But, those neighborhoods are for some people. These neighborhoods are for some people too. Some people don't want that. They don't want to move here and have their kids in the street and that's a valid point, I get that. I don't think you're going to have those folks move here. I think they are going to be young professionals. Honestly, when my wife and I were 32 and didn't have kids, I didn't have a neighborhood like this to move to. It probably would have been better for us than where we moved. With that being said, I would like the Purple Heart Homes folks to talk to you now, so I'm going to turn it over to them.

John Gallina stepped forward to the podium and introduced himself. He said he is a combat wounded veteran who served in Iraq in 2004 and 2005. I am a General Contractor by trade and that's what I've done most of my career, built here in North Carolina, Charlotte, Asheville, Burlington, Greensboro and many different

communities. I've built townhomes, custom homes, single family homes, large developments. After coming home from Iraq and after the injury in Iraq, returning home, my buddy had lost both of his legs and in the process we realized that he needed a home that was accessible for his needs and his family. In the process of working on his home with volunteers, one of which is Paul Cockerham, who is one of our team members. Paul worked on the home with us and at the end of the project, we saw a great community that came together that had volunteered and many of them were older veterans. We said who is helping them, who is helping the older veteran. The veteran that doesn't have the amputation, whose helping them to be able to afford the home. Who is helping them to be able to have accessibility within their home and that's when we started Purple Heart Homes. We did that for a variety of reasons, but one of which that's became very acutely aware for us is general affordability. Having been a contractor and a developer, over the years I've worked with many different organizations and housing authorities and I realized that most often times, we used that terminology thinking of just those who are in poverty. But, affordable housing is for everybody, we all need affordable housing. In a way, when I look at it, as a veteran, it's the veterans that need the support and the assistance in achieving that American dream. I remember one such veteran, Jimmy Lee, a number of years back and he couldn't afford a house. We needed to help him with some down payment assistance, some credit counseling, and we got Jimmy into a house and I was at the closing table the day that Jimmy signed his mortgage. I remember Jimmy breaking down in tears telling me that he never thought anybody would find him worthy to give him a mortgage. I thought wow, how mind blowing is that that just that little bit of help to make it affordable for him so that it could fit within his means and what a difference it made for him. That's what we are here for. We've been working with the Charlotte Land Group to develop a program to be able to support affordability and help communities all around the Charlotte region be able to support veterans gain home ownership. We live in a great state, one of our most patriotic states in the union and I've worked in 42 different states across the country with cities just like yours to provide homeowners assistance and housing assistance and accessibility assistance from veterans that are experiencing homelessness, all the way to veterans that are downsizing and looking for the next phase of their life for their family. In many ways, it's about creating generational wealth, a house, a home, is the key to creating that generational wealth. It's through home ownership that we are able to really find that little bit of peace and over the years, we've assisted now a little over 917 families and built over 20 million dollars in equity into veterans lives. That's what we are here supporting today, is to be able to help bring this program to Monroe, to help work through the Regent Pines community here and to be able to start that program so we can get a foothold into helping veterans have homeownership here in this community. It's a great town and lots of great amenities. I hear exactly what you are saying in your questions. It may be that a 60-year-old veteran might be looking to go to their son or daughter's house and watch their grandkids play there, not necessarily having a playground in their community, but they are very much looking for a community that is low maintenance. This would be something that they could be proud of and a community that is close to amenities and is in a town that honors and loves their veterans and that has a place that's nice and affordable at the same time. With housing costs, the way, they are right now, I go to communities every week and I will be honest, you can't find a house that's of any value under \$200,000 anywhere today. Back in the 1990's, I built them every day, but it's not the same now. With the down payment assistance program is important to the community and development like this to be able to make it more affordable for our veterans. As I said, we are still ironing out some of the details, but we are here and committed to the program. We are here and committed to the partnership with the land development group and we are happy to be here in Monroe as well. I will be happy to answer any questions that you may have.

Jennifer Smith (Vice Chair) said thank you for your service.

Mr. Gallina said you are very welcome, thank you.

Patrick Furr said I have an ear infection and I can't hardly hear you. I heard parts of it, so you are considering that these are affordable homes, correct? Is that what you are saying at \$375,000-\$450,000?

Mr. Gallina said let me restate that for you in a little bit different way. Some body that makes \$200,000 a year deserves to be able to purchase a house that is within their price range and that is a good quality and a fair price.

Patrick Furr said I understand that.

Mr. Gallina said for this particular price range, for our veterans, our down payment assistance program would help buy that down so it can help it be a little more affordable for them.

Patrick Furr said you do realize that in Monroe, up until the last year 6,800 affordable homes \$325,000 or less are projected or being built as we speak.

Mr. Gallina said I don't know Monroe's statistics specifically, but I can say that for the quality of home and for the program and the down payment assistance that we are offering to provide, I believe that it will be a fair deal for whoever purchases a home in this community.

David Dotson said I'm sorry, so it's down payment assistance and it's not going to be a reduced price on the home, it's down payment assistance.

Mr. Gallina said yes, it's down payment assistance through the partnership through a multiple layers of support, both from some of our partners and the development group themselves.

Kenneth Deal asked are any of the homes being designed and built in this community for wounded veterans?

Mr. Gallina said our conversations have ensued that instead of setting a specific home up to be for a disabled veteran and depending on what the need is and when the veteran comes in, our organization will come in a support those renovations to make it assessable, if they have needs for maybe a chair lift or a fully assessable bathroom. But, to put some of those requirements on the contractor to build that, kind of puts that particular home into a box where it can only be sold to a veteran, doesn't make it as marketable. We want it to be fluid and if it's the last home in the community and that veteran is in a wheelchair, then we will come in and make those modifications as needed at that time.

Kenneth Deal said thank you.

Chair asked if there are any further questions? There were none.

Mr. Bennett said folks, that is it for us, if anybody has any questions, please let me know.

Chair asked if anybody would like to speak in favor of this project? There was none.

Chair asked if there is anyone that would like to speak against this project? There was none.

Chair asked do I have a motion?

David Dotson said before we do that, I do have one question for Ashley Britt. Ms. Britt, one of the things and I had to get my magnifying glass out to look at the site plan, we've been taught that the site plan is one of the binding things that we have here. It says the conditions and standards noted in this rezoning plan shall take precedent when in conflict with the city's approved ordinances and standards, is that normal?

Ashley Britt said yes.

Chair asked if anybody else has any questions or comments before we vote on a motion? Hearing none, I will entertain a motion.

**Motion:** Jennifer Smith made a motion to recommend adoption of the Resolution Approving Land Development Compliance.  
**Second:** Richard Yercheck  
**Action:** The motion to recommend adoption of the Resolution Approving Land Development Compliance passed with the following votes:

**AYES:** Richard Yercheck, Jennifer Smith, Archie Morgan, Richard Ali  
**NAYS:** Kenneth Deal, David Dotson

Patrick Furr said I would like to abstain from this.

**Motion:** Jennifer Smith made a motion recommending the adoption of the ordinance amending Section 157.1.2.1 Conditional Districts Established and Section 157.131 the Official Zoning Map.  
**Second:** Richard Yercheck  
**Action:** The motion to recommend adoption of the ordinance amending Section 157.1.2.1 Conditional Districts Established and Section 157.131, Official Zoning Map failed with the following votes:

**AYES:** Richard Yercheck, Jennifer Smith, Archie Morgan  
**NAYS:** Kenneth Deal, David Dotson, Richard Ali

Patrick Furr said I would like to abstain from this.

Chair said this will go on as a no recommendation from the Board, so it will go forward that way. [The item in its entirety was split with a recommendation to adopt the Resolution Approving Land Development Compliance, and no recommendation on the ordinances.]

Chair said we are taking a 2-minute recess.

Following the recess, Chair said we are moving on to item 5 of the agenda.

**Item 5. Zoning map and text amendment for the properties located along W. Jefferson St. and W. Crowell St. further identified as tax parcels: 09-273-004A, 09-273-004B, 09-273-004C, 09-273-004D, 09-273-004E, 09-273-004F from RMD (Residential Medium Density) to Conditional District (CD) “Jefferson & Crowell”.**

Keri Mendler came forward and said tonight I am here presenting a zoning map and text amendment request from Ben Russell on behalf of Pinnacle Homes USA, LLC for the property located along W. Jefferson St. and W. Crowell St. This project was submitted in October of 2021 and again, that was prior to the existing UDO and similar to the last project and is being processed under the prior code. The applicant is requesting a Conditional District rezoning in order to develop 15 attached single-family homes (townhomes). The total area of the project is 1.52 acres with .69 acres (46%) of open space. The site is currently zoned RMD (Residential Medium

Density). As currently zoned, the properties can currently be developed for residential uses. To the north, it is zoned GI (General Industrial), to the east, south and west is also zoned RMD (Residential Medium Density).

The density of this project is 9.88 units per acre. The minimum lot size for the townhomes is 2,046 square feet with a minimum lot width of 22-feet. This project is being processed under the previous ordinance, which required a 50-foot landscape buffer for townhome projects.

The applicant is not proposing landscape buffers for this site as there are existing multi-family uses on either side of this site. Each lot will have at least 1-yard tree, which will be at least 2-inches at the time of planting.

Under the previous ordinance, townhome projects were required to provide 50% open space, which would equal .75 acres. The applicant has provided .69 acres, which is 46% of the total site. Due to the size of this project and number of units, there are no amenities planned for the open space.

The developer is proposing the exterior building materials to include fiber cement, stone, stucco, or brick. The front façade will consist of a minimum of 25% brick or stone. The minimum heated floor area of the townhomes is 1,300 square feet.

The applicant is proposing that all units will have a one car attached garage. All front load garages will have carriage style trim and/or hardware to mimic carriage style doors. Each driveway will be able to accommodate at least two (2) vehicles. The previous ordinance required multi-family projects to provide parking at a rate of one (1) space per bedroom plus an additional ½ space per unit. Assuming each unit has two (2) bedrooms, this project would require 38 parking spaces. The proposed development will provide 45 parking spaces with room for two vehicles in the driveway and one vehicle in the garage. The new ordinance only requires two parking spaces per unit, which would equal 30 parking spaces.

The applicant did hold a neighborhood meeting on May 11, 2022 at the Bottle Factory and there were 7 attendees. An official rezoning notification sign will be posted and letters will be mailed 10 days prior to the public hearing.

The Land Use and Transportation Plan indicates this area is in the Traditional Character Area. Traditional Development, which surrounds the downtown core, is anchored by the city's most historic neighborhoods. This designation allows some small-scale commercial and service uses that support surrounding residences. The dense transportation network offers easy access to downtown. The design and scale of neighborhoods encourages active living and affords residents the ability to live, work, shop, and play within a walkable community. Buildings are generally oriented toward a comprehensive network of walkable streets. Cul-de-sacs should be limited to the extent possible, such as locations where topography, natural features, or existing development makes other street connections prohibitive. Requiring pedestrian connections and designating stub outs for future street connections is encouraged.

Staff does recommend approval of this project and the applicant is here to answer any questions and I am happy to answer any questions if you have any.

Archie Morgan asked what happened at the Bottle Factory meeting?

Keri Mendler said so there were about 7 individuals, but overall it seemed well received as far as a townhome project at this location. It is again in the downtown area and there is a lot going on in our downtown and there's some apartments and some multi families in the area. There were some concerns about the elevations since this project is close to the Historic District, but it is not in the Historic District. But, there were some concerns about

the product itself as far as the elevations, but as far as townhomes, I didn't perceive a negative feel from the residents that were at that meeting.

Chair asked if there are any other questions for Keri? There were none.

Chair asked if there is anyone that would like to speak in favor of this project?

Sarah Shirley came forward and introduced herself and said she is from American Engineering. I am here to give you just a quick supplement from Keri's presentation. Keri was at the neighborhood meeting and we really appreciated having that representation there. To give you a little bit of background on Pinnacle Homes, it is a sole proprietorship and ownership and the owner is right behind me, Mr. Ben Russell. Mr. Russell lives and works, as well as all of his employees, in Union County, so we've got a focused community and invested community member here who is looking to benefit the City of Monroe. These are custom home builders and lot and land sales here in Union County, the City of Monroe and the surrounding market in Charlotte. We were founded back in 2003 and have been doing good business ever since. As Keri explained, we are surrounded completely by multifamily to the east and west, then we have a couple single family lots that the backyards look into our front yard essentially across Jefferson. Then Crowell is the industrial that is currently vacant and wooded. It was very important for us, this is an infill neighborhood in the purer sense and it is 1.5 acres, right in downtown and walkable to Belk Tonawanda. It's outside of the Historic District and we are looking to maintain that streetscape and the distance from the adjacent apartment communities are from Jefferson and Crowell we're maintaining with our setbacks. The minimum setback is 30, but we are agreeing to 40 for two reasons. To maintain that setback for the streetscape so you still get that urban infill fabric completed, as well as giving us that space to park 2 cars off of the street and have that third car in the garage. Being held to the original multifamily, which this is not a multifamily product, it's a single family attached, so each of these would be individually owned. We are still providing that 3 parking spaces per unit.

Jennifer Smith (Vice Chair) asked what are the price point of these?

Ms. Shirley said right now, we are looking at gearing towards \$275,000-\$325,000.

Archie Morgan asked if these will end up as rentals?

Ms. Shirley said the intent is to sell them to individual home owners. Pinnacle Homes builds for individual home owners, so that is the intent here.

Chair asked if there will be an HOA or anything?

Ms. Shirley said because these are townhomes, they would have to have an HOA to maintain that exterior material, so you don't have that one home owner who's putting a different color siding or messing up or a different roof.

Chair said similar to the other project, can your HOA put in 20% or less rentals?

Ms. Shirley said they could, but the problem with that is, who is enforcing it and how does it get enforced. We've talked about in terms of the number of units that this neighborhood will propose is 15. If we have a homeowner who purchases the house for \$300,000, the market tanks tomorrow, the house is now worth \$150,000, he's got to afford because he can't afford to stay in the house and he's got to get a new job. He can't rent it out and he can't sell it because he's under water. We are really trying to be conscientious to get the homeowners to give them the most flex in the market to make sure they have the ability to transition if needed. To give you an idea, we can flex the color in this, we are sticking with the material commitment and making

sure we've got those 25% minimum brick and stone standards, but we can play with the color transitions between units.

Jennifer Smith (Vice Chair) said this is really close to the Historic District, isn't it?

Ms. Shirley said it is, it's across the street.

Jennifer Smith (Vice Chair) said it really doesn't blend with that community at all.

Archie Morgan said that is our concern. You've got several members of this Board on the Historic District Commission Board and the integrity of the Historic District is....

Jennifer Smith (Vice Chair) said they are very modern looking and contemporary.

Chair asked if there is a way to change the elevations to make it fit more?

Ms. Shirley said there are 2 reasons for that. The context was which we are working with, first of all, our site is vacant. The purpose of the Historic Preservation and District is to preserve the Historic homes that are there. Our site is vacant, there is nothing that needs to be preserved or can be preserved on the site. We are looking at the market availability of what we can do with an infill site of 1.5 acres that is sandwiched between older apartment communities that don't fit the Historic build. We are looking at transitioning between 2 older uses that are not historic, but trying to make sure that our homes can sell. So, where we came up with these elevations, we have this arts and crafts details on the front porches. We are matching with that theme of some of the, I would say the newer homes in the Historic District, the ones from the 40's and 50's with the arts and crafts style. We can flex the colors, but we can't significantly change the style. The style right now is arts and crafts and we can work with that on the elevations, but not a significant difference. We can't make them Victorian homes, for instance.

Archie Morgan asked, buffer?

Ms. Shirley said we've got the distance essentially between our homes and the existing buildings. Where the existing buildings stand offsite, we have at least 50 ft. from any of our proposed buildings and the buildings adjacent to our property. We are going to have open space between so we can preserve trees. The only thing that would prohibit us from having to take any trees down, would be the actual stormwater easement and pipe that runs through. So, we would like to keep it, but if it's not working and it causes flooding, we will have to reevaluate the situation when it gets to be time for civil design.

Patrick Furr said I've had a lot of phone calls from folks on the other side of the county. Right near the Historic District, we have 5 of the ugliest houses that were just thrown up and they are wanting us to protect, even though it's not in the Historic District, they are wanting us to protect and watch what's going in to these different lots. These people are irate over what's happened over there. You are talking about 1.5 acres; could we throw up a few more apartments or developments or whatever you want to call these. You've got 15 family homes on 1.52 acres. That's just a little over a football field and a half. I'm sorry, I just think as far as I'm concerned, on this Board, we have to protect the Historical District of Monroe and people have been getting away with putting whatever they want on whatever piece of land for long enough. That's just my opinion and no offense to the project at all.

Ms. Shirley said I appreciate your point, thank you for making it. By right, he would develop 6 homes that don't have any material commitments to them today. The benefit of having this project in Monroe is that we've got the style that matches the historic character.

Jennifer Smith (Vice Chair) asked how do you feel that matches?

Ms. Shirley said the arts and crafts.

Jennifer Smith (Vice Chair) said but we don't have a lot of arts and crafts homes in the Historic District. Maybe 1 or 2 in that area before it was actually developed into the Historic District.

Ms. Shirley said on West Franklin Street, there are actually some arts and crafts buildings. The range that goes in the Historic District is anywhere from 1874 all the way to 1945 and 1950's, so the style mimics the idea of it and I'm not going to claim that it would pass an architectural preservation, but the intent of this is that it is new construction and its quality and they are committing to the material commitments for hardiplank, brick and stone, and we are providing that style on the front.

David Dotson said I have a question for you. One of my concerns is that the driveways in the front, you are either going to have to back out of your driveway on to Crowell Street or you're going to have to stop and back into your driveway, is that correct? I don't think there is anything that you can do about that, is there?

Ms. Shirley said well, we've got the room on the front. We could consider having a pull off area where you could back up and go out.

David Dotson said it's just a safety issue in my opinion.

Ms. Shirley said we could work with the site layout, especially along Crowell, I understand, because Jefferson operates more as an alleyway. But, Crowell....

David Dotson said the other thing is that I'm a little concerned for you and I'm sure you are a better business person than I am. But, you have apartments, duplexes and apartments. This is a \$275,000-\$325,000 product, which I'm sure is a great product and you can sell it. I'm a little concerned about what may happen to it being right there between those 2 things, taking the Historic District out of it. I mean, I think something may need to go there, but I just don't know, this seems...

Ms. Shirley asked is your concern about longevity?

David Dotson said you will have someone come in, an investor come in and purchase these things and use them as rental properties.

Jennifer Smith (Vice Chair) said exactly.

David Dotson asked do you understand what I'm trying to say?

Ms. Shirley said I do understand.

Jennifer Smith (Vice Chair) said there is no amenities at all. There is nothing there for them other than just the townhouse, itself.

Ms. Shirley said I can address that too. So, the investor properties are a fear that I've heard expounded. Statistically speaking, you find them in larger subdivisions where they can sort of hide. This is an individual owner who is selling them and even then you could go down a rabbit hole of what could potentially be or what the fear is, but generally speaking, these are for sale units, we have an HOA that's going to maintain all of the

open spaces and the exteriors. In terms of it turning into a neighborhood that isn't caring for itself, there is less chance of that with the HOA.

David Dotson said I just hate to see the downturn like you just described. Someone could come in and scoop these up for \$185,000 and rent them out and we would just have more rental properties. I would love to see someone come in and buy something and own it and live there, so they can walk downtown.

Ms. Shirley said exactly, absolutely.

David Dotson said they could have drink a beer and walk back and participate.

Ms. Shirley said that is the intent and the thing to remember too, even if somebody were to purchase and then rent that property out. You still have a homeowner who has to be held to the same standards through the HOA, so the HOA is going to have maintenance checks in place naturally and so if anything were to happen, that homeowner is going to be the one responsible for keeping everything up to par. The reason that we don't have amenities is because we want people to use Belk Tonawanda and we want them to go downtown, we want them to have that space and to keep the open space natural. Everyone is going to have access to that common area behind all the units, but we want them to go into the city and support those parks. I know Belk Tonawanda has just been renovated and it's absolutely beautiful and we want people to take advantage of that as much as possible.

Archie Morgan said we keep hearing about projects with no amenities that are relying on the good things the City of Monroe has to offer as a substitute for no amenities. I find that hard to believe.

Ms. Shirley said the difference for this one is that it's actually walkable to a place. Walkability is actually a quarter of a mile and so we've got a lot of beautiful things that are within a quarter of a mile and we want people to take advantage of that and you are going to have 15 homeowners who are tax paying members of the city who are actually going to help support the maintenance of the park. It's a good thing, the city has really set itself up to really just support people who move in.

Jennifer Smith (Vice Chair) said if someone moves in who has kids, there is no place for the kids to go, what's downtown for the kids? There is the park there.

Chair said Belk Tonawanda.

Ms. Shirley said I actually take my 6 year old there all the time, we just throw a ball back and forth essentially and it's one of her favorite things to do. They've got the walking trails and you can go back and forth to. There are good places and good opportunities to play down there. I can answer more questions if you have them.

Board discusses.

Keri Mendler said the senior center is under renovation and the police headquarters is coming, so of course it could be a potential for some housing for some new employees, I don't know. But, across the street, I'm not sure about the vacant lot across the street. I believe that he was at the neighborhood meeting though to kind of figure out what was going on here because it's our understanding that maybe he is looking to do something and wants to see what could possible fit in there.

David Dotson said we don't really have anything that's going to come back from 5 years ago, do we?

Keri Mendler said not that I am aware of going on.

David Dotson said I don't want something to come up and bite us or something because you know that happens.

Keri Mendler said sure.

Jennifer Smith (Vice Chair) asked what school district is that in for kids?

Keri Mendler said let me check the staff report.

Chair said it's Monroe High.

Board discusses.

Keri Mendler said it's Walter Bickett Elementary and then Monroe Middle and High.

Chair said Jess is working with the owner across the street with the vacant lots, so if you would like to come up and tell us about that project.

Jess Perry stepped up to the podium and introduced himself and said I am with Walt Perry Realty and it's good to see all of you. We worked with the lot across the street, the vacant lot, with the Price family. Beside it, the lot is owned by the City of Monroe and it's an industrial building and it's just a frame right now. I imagine that that would be industrial, just to let you know.

Chair said so right now, the Price family has no designs on that vacant lot in your....

Mr. Perry said they are the owners and we will have to wait until someone comes up and says we want to use it. Then, it would flip back to the good folks in Planning. Am I right, Keri and Doug? That is probably is industrial?

Keri Mendler said yes, it is zoned industrial now currently. But, yes, obviously if there is an interested party, they would speak to Planning and we would see what use would be permitted there. But, I have not spoken with anyone recently.

Chair said thank you.

Mr. Perry said we've had inquiries, of course, and it's mostly for industrial applications.

Chair asked if there are any other things that you would like to continue saying as we start waylaying your presentation?

Ms. Shirley said no, I appreciate the opportunity to present. Thank you.

Chair asked if there is anybody else that would like to speak in favor this project? Any young people that would like to speak? Is there anyone that would like to speak against the project? Hearing none, seeing none. Board members, do we have any comments that we would like to make now or any other questions for staff? There were none. The Chair said I will entertain a motion.

**Motion:** Jennifer Smith made a motion to recommend adoption of the Resolution Denying Land Development Compliance.

**Second:** Archie Morgan

**Action:**        **The motion to recommend adoption of the Resolution Denying Land Development Compliance passed with the following votes:**

**AYES:**     **Richard Yercheck, Jennifer Smith, Kenneth Deal, Archie Morgan, Richard Ali, Patrick Furr, David Dotson**

**NAYS:**     **None**

**Motion:**        **Jennifer Smith made a motion recommending the denial of the zoning map amendment**

**Second:**       **Archie Morgan**

**Action:**        **The motion to recommend denial of the zoning map amendment passed with the following votes:**

**AYES:**     **Richard Yercheck, Jennifer Smith, Kenneth Deal, Archie Morgan, Richard Ali, Patrick Furr, David Dotson**

**NAYS:**

Chair said Planning Board members, on your 4 x6 index cards, please write your name and specifically why you denied this and we will get this information to these folks in a short period of time so they can make adjustments accordingly.

**Item 6.**        **Next Meeting- August 3, 2022**

**Item 7.**        **Adjournment**

Chair said if there were no further questions, he would entertain a motion at this time to adjourn.

**Motion:**        **David Dotson made a motion to adjourn.**

**Second:**       **Archie Morgan**

**Action:**        **The motion to adjourn passed unanimously with the following votes:**

**AYES:**     **Richard Yercheck, Jennifer Smith, Patrick Furr, Kenneth Deal, Richard Ali, David Dotson and Archie Morgan**

**NAYS:**     **None**

The meeting was adjourned at 7:35 p.m.

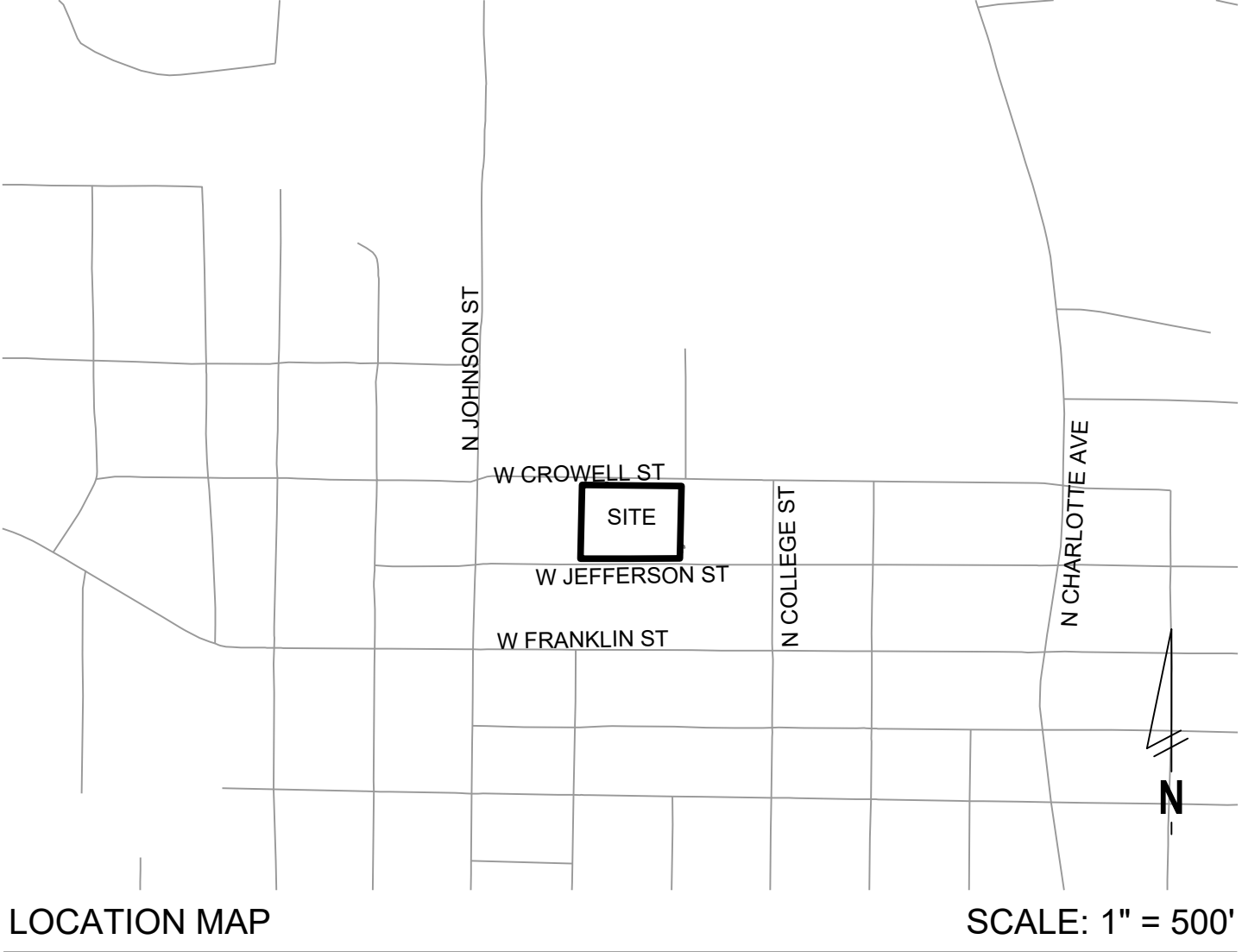
Respectfully Submitted,

Richard Yercheck, Chair  
Planning Board

Ashlyn Penegar  
Secretary to the Board

CONDITIONS:

1. Exterior materials shall be limited to a mix of fiber cement, stone, stucco, and/or brick materials. The front facade will consist of a minimum of 25% brick or stone.
2. The minimum heated square feet of the units will be 1,300 sf.
3. Each lot shall have at least 1 yard tree, suitable for healthy growth in Monroe's Plant Hardiness Zone. Each tree shall have minimum caliper of 2 inches measured 6 inches above grade.
4. All driveways shall be paved with concrete or asphalt from the road to the garage and shall be able to accommodate at least two (2) vehicles.
5. All units shall have a standard one-car attached garage.
6. Units built on slab foundations shall have a minimum four course brick of standard size extending up the face of the slab.
7. The front wall of all houses shall not run unbroken (unarticulated) for a distance of more than 24 linear feet. All wall offsets shall be a minimum of one (1) foot in depth.
8. The majority of all roof areas on any house shall have a minimum of 6/12 pitch roof.
9. All exposed chimneys shall be stucco or brick veneered consistent with the architecture of the home.
10. Front lawns of all units shall be sodded prior to issuance of a certificate of occupancy.
11. All front-load garages shall have carriage style doors or hardware that mimics carriage style doors and decorative windows.
12. Accessory structures shall not be located beyond the front corner of the home and shall maintain a five-foot (5') setback from all property lines. Accessory structures shall not be located within the public easement(s).
13. Homeowner's association will be responsible for ownership and maintenance of open space, common areas, bmp areas, etc.
14. All landscaping shall be kept in a thriving condition.
15. All elevations, packets, or other supplemental material submitted to Staff, Planning Board, and or City Council in reference and support of any conditional district shall be regarded as an integral element of the approved site plan; minor deviations from submitted materials shall be allowed at the discretion of the planning director or his designee.
16. Existing healthy trees on-site 8" in caliper (25" circumference) will be preserved to the extent possible and can be removed to allow for built elements, easements, and/or if the health of the tree would be compromised and pose a future hazard to residents. Removal of trees 24" caliper (75" circumference) may be removed when in conflict with building pads and/or foundations, utility easements, drives, parking spaces and/or right-of-ways. In all cases diseased, invasive and/or dying trees may be removed.
17. Potential Tree Save Area shown is subject to change at time of site plan submittal and trees may be removed in order to comply with stormwater mitigation requirements. Where reasonable, trees will be preserved.



SITE STATISTICS

|                        |                                                                                                          |
|------------------------|----------------------------------------------------------------------------------------------------------|
| PROPERTY DESCRIPTION:  | SIX PARCELS BETWEEN CROWELL STREET AND JEFFERSON STREET                                                  |
| PIN #:                 | 09273004A, 09273004B, 09273004C, 09273004D, 09273004E, 09273004F                                         |
| TOTAL PROPERTY AREA:   | 1.518 ACRES                                                                                              |
| CURRENT ZONING:        | R-10                                                                                                     |
| PROPOSED ZONING:       | CD- JEFFERSON AND CROWELL                                                                                |
| TOTAL NUMBER OF UNITS: | 15 TOWNHOMES                                                                                             |
| PROPOSED DENSITY:      | 9.8 UNITS/ACRE                                                                                           |
| TYPICAL LOT SIZE:      | 22' x 93' (INTERIOR) (2,046 SF)<br>27' x 93' (EXTERIOR) (2,511 SF)                                       |
| BUILDING SETBACKS:     | 30' FRONT (MINIMUM)<br>0' SIDE (INTERIOR UNITS)<br>5' SIDE (MINIMUM EXTERIOR LOTS)<br>20' REAR (MINIMUM) |
| PROVIDED OPEN SPACE:   | 0.69 ACRES (46%)                                                                                         |

DRAWING COMPONENTS

- PROPERTY LINE INFORMATION FROM SURVEY PROVIDED BY CLIENT BY WOOTEN SURVEYING & ASSOCIATES, PLLC DATED 3/11/2022.
- ZONING AND TOPOGRAPHY FROM UNION COUNTY GIS



PROPOSED BUILDING ELEVATION

N.T.S.  
EXACT COLORS AND MATERIAL MIX TO BE DETERMINED AT TIME OF SITE PLAN SUBMITTAL AND SHALL BE IN COMPLIANCE WITH REZONING COMMITMENTS AND CITY OF MONROE REQUIREMENTS.

Conceptual Rezoning Plan

Conditional District - Jefferson and Crowell



Petitioner voluntarily agrees to all conditions approved by city council, which are listed on this site plan.

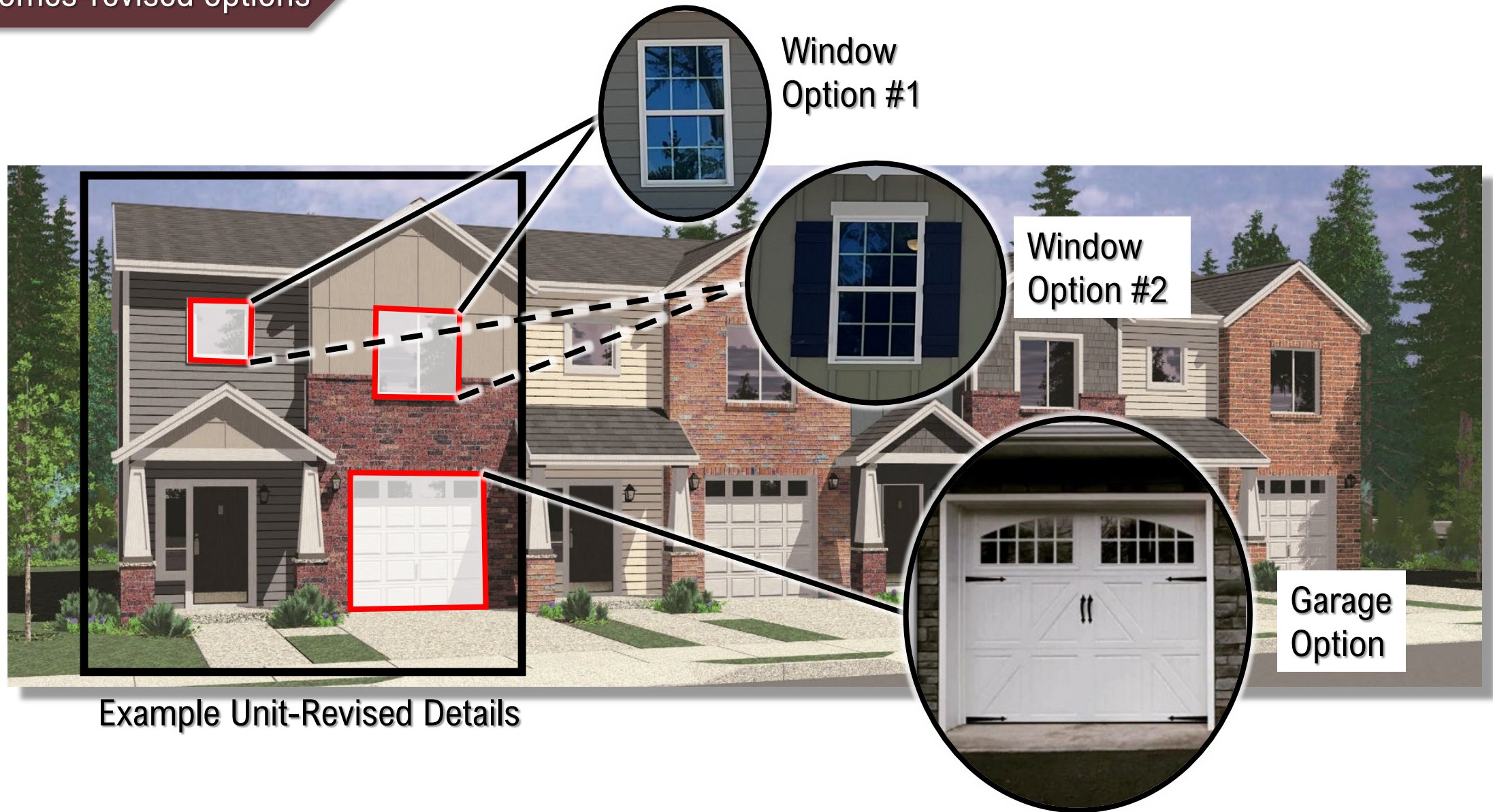
Petitioner Signature

Date

City of Monroe, North Carolina

May 24, 2022  
revised: August 24, 2022  
Page 1 of 1

## Townhomes-revised options



Example Unit-Revised Details

Precedent Images – Townhomes\*

\*Images shown are conceptual in nature, actual elevations are subject to change based on approved builder, final review by authorizing agencies, and site conditions.

## Future Land Use Map

### CD "Jefferson & Crowell"

#### Legend

— Centerlines

▭ Parcels

#### Future Land Use

▭ Traditional Development

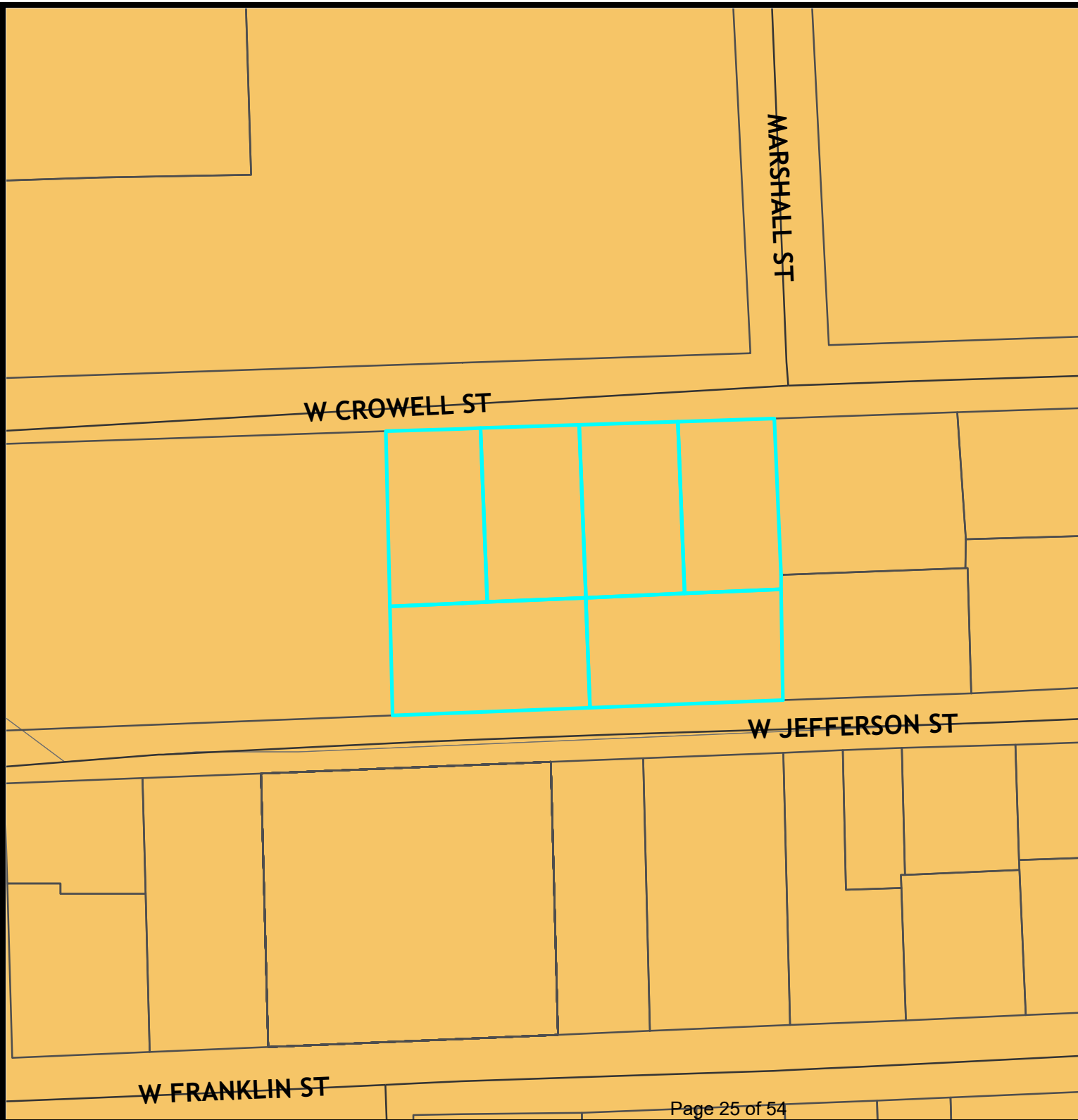
**Existing: RMD**  
(Residential Medium Density)

**Owner: Pinnacle Homes  
USA, LLC**

**Acres: 1.52**



0 80 160  
Feet



## **Land Use and Transportation Plan**

The Land Use and Transportation Plan indicates this area is in the Traditional Character Area. Traditional Development, which surrounds the downtown core, is anchored by the city's most historic neighborhoods. This designation allows some small-scale commercial and service uses that support surrounding residences. The dense transportation network offers easy access to downtown. The design and scale of neighborhoods encourages active living and affords residents the ability to live, work, shop, and play within a walkable community. Buildings are generally oriented toward a comprehensive network of walkable streets. Cul-de-sacs should be limited to the extent possible, such as locations where topography, natural features, or existing development makes other street connections prohibitive. Requiring pedestrian connections and designating stubouts for future street connections is encouraged. Residential density for this character area is 4-10 units per acre.

**RESOLUTION APPROVING LAND USE AND TRANSPORTATION  
PLAN COMPLIANCE  
CONDITIONAL DISTRICT “JEFFERSON & CROWELL”  
R-2022-XX**

**WHEREAS**, in accordance with the provisions of North Carolina General Statute 160D-605, the Planning Board does hereby find and determine that the adoption of the zoning map amendment for Conditional District “*Jefferson & Crowell*” and further described below property is consistent with the adopted Land Use and Transportation Plan. The Land Use and Transportation Plan identifies this area as Traditional. Multi-Family, which includes townhomes, is listed as a priority use in this character area, and the proposed project is for the development of townhomes. The traditional character area states the density for residential is 4-10 units per acre. This development is 9.88 units per acre; therefore, it is consistent. The project is reasonable and in the public interest because it will provide additional housing options closer to the city core and downtown and affords residents an opportunity to live, work, shop, and play within a walkable area.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Board of the City of Monroe recommends adoption of the Resolution Approving Land Use and Transportation Plan Compliance for property with Union County Tax Parcel Number(s): 09-273-004A, 09-273-004B, 09-273-004C, 09-273-004D, 09-273-004E, 09-273-004F.

Adopted this 7<sup>th</sup> day of September, 2022

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Richard A. Yercheck, Planning Board Chair

Attest:

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Ashlyn Penegar, Secretary to Planning Board

**ORDINANCE TO AMEND CITY OF MONROE CODE OF ORDINANCES  
TITLE XV: LAND USES  
CHAPTER 157: ZONING CODE  
O-2022-XX**

**Preamble**

**Pursuant to authority conferred by Chapter 160D-701 of the North Carolina General Statutes, as amended and for the purpose of promoting the health, safety, morals, or general welfare of the inhabitants of the City by lessening congestion in and around the streets; securing safety; preventing the overcrowding of land; avoiding undue congestion; and facilitating the adequate provision of transportation,**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE THAT TITLE XV, CHAPTER 157 ZONING CODE OF THE CITY OF MONROE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:**

**Section 1.** Amend §157.1.2.1 OFFICIAL ZONING MAP as follows:

Rezone the properties located along W. Jefferson Street and W. Crowell Street further identified with parcel ID numbers 09-273-004A, 09-273-004B, 09-273-004C, 09-273-004D, 09-273-004E, 09-273-004F from RMD (Residential Medium Density) to Conditional District (CD) “Jefferson & Crowell”

**Section 2.** This Ordinance shall be effective upon adoption.

Adopted this 11<sup>th</sup> day of October, 2022

Attest:

\_\_\_\_\_  
Marion L. Holloway Jr., Mayor

\_\_\_\_\_  
Bridgette H. Robinson, City Clerk

**ORDINANCE TO AMEND CITY OF MONROE CODE OF ORDINANCES  
TITLE XV: LAND USES  
CHAPTER 157: ZONING CODE  
O-2022-XX**

**Preamble**

**Pursuant to authority conferred by Chapter 160D-701 of the North Carolina General Statutes, as amended and for the purpose of promoting the health, safety, morals, or general welfare of the inhabitants of the City by lessening congestion in and around the streets; securing safety; preventing the overcrowding of land; avoiding undue congestion; and facilitating the adequate provision of transportation,**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE THAT TITLE XV, CHAPTER 157 ZONING CODE OF THE CITY OF MONROE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:**

**Section 1.** Amend §157.1.3.1 ZONING DISTRICTS ESTABLISHED as follows:

Conditional District (CD) “Jefferson & Crowell”

**Section 2.** This Ordinance shall be effective upon adoption.

Adopted this 11<sup>th</sup> day of October, 2022

Attest:

\_\_\_\_\_  
Marion L. Holloway Jr., Mayor

\_\_\_\_\_  
Bridgette H. Robinson, City Clerk



## STAFF REPORT

**TO:** Planning Board Members

**DATE:** September 7, 2022

**FROM:** Lisa Stiwinter, Planning and Development Director

**PREPARED BY:** Keri Mendler, Senior Planner

**SUBJECT:** Zoning Map and Text Amendment request for Conditional District  
“Jefferson & Crowell”

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### SUMMARY STATEMENT

The Planning Board is requested to consider a zoning map and text amendment for the properties located along W. Jefferson St. and W. Crowell St. further identified as tax parcels: 09-273-004A, 09-273-004B, 09-273-004C, 09-273-004D, 09-273-004E, 09-273-004F from RMD (Residential Medium Density) to Conditional District (CD) “Jefferson & Crowell”.

This project came before Planning Board on July 13, 2022 and received a recommendation for denial. At the August 9, 2022 City Council meeting, the applicant requested to go back to Planning Board with modifications to the project. The applicant has revised elevations to present to Planning Board for consideration.

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### REVIEW

Ben Russell, on behalf of Pinnacle Homes USA, LLC, is requesting a Conditional District rezoning in order to develop 15 attached single-family homes (townhomes). The total area of the project is 1.52 acres with .69 acres (46%) of open space. The site is currently zoned RMD (Residential Medium Density). As currently zoned, the properties can currently be developed for residential uses.

### AREA CHARACTERISTICS

Adjoining Land Uses and Zoning District

|  | Existing Uses | Zoning District |
|--|---------------|-----------------|
|--|---------------|-----------------|

|              |               |                                  |
|--------------|---------------|----------------------------------|
| <b>North</b> | Vacant        | GI (General Industrial)          |
| <b>East</b>  | Multi-Family  | RMD (Residential Medium Density) |
| <b>South</b> | Single-Family | RMD (Residential Medium Density) |
| <b>West</b>  | Multi-Family  | RMD (Residential Medium Density) |

## **REQUIREMENTS**

### **Proposal**

The applicant is requesting a Conditional District rezoning in order to develop 15 attached single-family homes (townhomes). The total area of the project is 1.52 acres with .69 acres (46%) of open space.

### **Density & Dimensional Standards**

The density of this project is 9.88 units per acre. The minimum lot size for the townhomes is 2,046 square feet with a minimum lot width of 22-feet. The data below is simply to provide the board with information to compare the proposed density to what is allowed by the zoning ordinance in other residential districts in Monroe.

| Zoning District | Maximum Allowable Density                          |
|-----------------|----------------------------------------------------|
| <b>RLD</b>      | 2 unit/acre                                        |
| <b>RMD</b>      | 3 units/acre by-right; 4 units/acre clustering     |
| <b>RHD</b>      | 10 units/acre                                      |
| <b>DG-MX</b>    | 10 units/acre by-right; 15 units/acre w/incentives |

The proposed minimum setbacks are as follows:

Front: 30-feet

Side: 5-feet

Interior Side: 0-feet

Rear: 20-feet

### **Landscaping**

This project is being processed under the previous ordinance, which required a 50-foot landscape buffer for townhome projects. The applicant is not proposing landscape buffers for this site as there are existing multi-family uses on either side of this site. Each lot will have at least 1-yard tree, which will be at least 2-inches at the time of planting.

### **Open Space**

Under the previous ordinance, townhome projects were required to provide 50% open space, which would equal .75 acres. The applicant has provided .69 acres, which is 46% of the total site. Due to the size of this project and number of units, there are no amenities planned for the open space.

### **Elevations**

The developer is proposing the exterior building materials to include fiber cement, stone, stucco, or brick. The front façade will consist of a minimum of 25% brick or stone. The minimum heated

floor area of the townhomes is 1,300 square feet. The revised elevations include upgraded window options; one with grids and one with shutters and a cornice.

### **Parking**

The applicant is proposing that all units will have a one car attached garage. All front load garages will have hardware to mimic carriage style doors and decorative windows. Each driveway will be able to accommodate at least two (2) vehicles.

The previous ordinance required multi-family projects to provide parking at a rate of one (1) space per bedroom plus an additional ½ space per unit. Assuming each unit has two (2) bedrooms, this project would require 38 parking spaces. The proposed development will provide 45 parking spaces with room for two vehicles in the driveway and one vehicles in the garage. The new ordinance only requires two parking spaces per unit, which would equal 30 parking spaces.

### **Stormwater**

The applicant will be required to provide stormwater management to treat the stormwater runoff for the project. The stormwater will be evaluated and reviewed, if the project is approved by City Council, at the building permit stage of the process. The location, size and type of storm water management systems depicted on the rezoning plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and actual site discharge points. At the time of site plan submittal, site will meet stormwater management requirements in accordance with Chapter 159 Stormwater Management Ordinance of the Monroe Code of Ordinances.

### **Transportation**

The project is located between W. Jefferson St. and W. Crowell St. There are no transportation improvements for this project.

### **Schools**

The proposed 15-lot townhome development will be within the following school attendance areas for the current school year:

|                           |                                 |
|---------------------------|---------------------------------|
| Walter Bickett Elementary | Currently at 64% rated capacity |
| Monroe Middle             | Currently at 87% rated capacity |
| Monroe High               | Currently at 66% rated capacity |

The proposed development is not expected to adversely affect school enrollment vs. capacity.

## **LAND USE AND TRANSPORTATION PLAN CONSISTENCY**

The Land Use and Transportation Plan indicates this area is in the Traditional Character Area. Traditional Development, which surrounds the downtown core, is anchored by the city's most historic neighborhoods. This designation allows some small-scale commercial and service uses that support surrounding residences. The dense transportation network offers easy access to

downtown. The design and scale of neighborhoods encourages active living and affords residents the ability to live, work, shop, and play within a walkable community. Buildings are generally oriented toward a comprehensive network of walkable streets. Cul-de-sacs should be limited to the extent possible, such as locations where topography, natural features, or existing development makes other street connections prohibitive. Requiring pedestrian connections and designating stubouts for future street connections is encouraged.

Townhomes are a priority use in this character area. Residential density for this character area is 4-10 units per acre. The proposed project is consistent with the land use and transportation plan.

### **PUBLIC NOTIFICATION**

1. The applicant held a neighborhood meeting on May 11, 2022. There were seven attendees at this meeting.
2. A rezoning notification sign has been posted on this property since July 29, 2022.
3. An official rezoning notification letter was sent to adjacent property owners on July 29, 2022.

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### **MODIFICATIONS SINCE JULY 13, 2022 PLANNING BOARD**

- Revised elevations to include two window options; one with grids and one with shutters and a cornice.
- Revised elevations to include enhanced garage windows and hardware to mimic garage style garage doors (previously submittal had window or hardware).

### **RECOMMENDATION**

Staff recommends approval of the rezoning “Jefferson & Crowell”.

**Planning Board will need to take action on the following items:**

- *Motion to recommend adoption of Resolution Approving Land Development Compliance*  
**OR**
- *Motion to recommend adoption of Resolution Denying Land Development Compliance*

**If the Resolution of Land Development Plan Compliance is recommended for approval, the Planning Board will also need to make the following motion:**

- *Motion to recommend adoption of the Ordinance amending section 157.1.2.1- Conditional Districts Established and section 157.1.3.1- Official Zoning Map.*

**If the Resolution of Land Development Plan Compliance is recommended for denial, the Planning Board will also need to make the following motion:**

- *Motion to recommend denial of the zoning map amendment*

Attachments:

1. Ortho Map
2. Zoning Map
3. Site Plan
4. Revised Elevations
5. Future Land Use Map
6. Future Land Use Description
7. Approval Resolution
8. Denial Resolution
9. Ordinance 157.1.2.1
10. Ordinance 157.1.3.1

## Ortho Map

### CD "Jefferson & Crowell"

#### Legend

— Centerlines

▭ Parcels

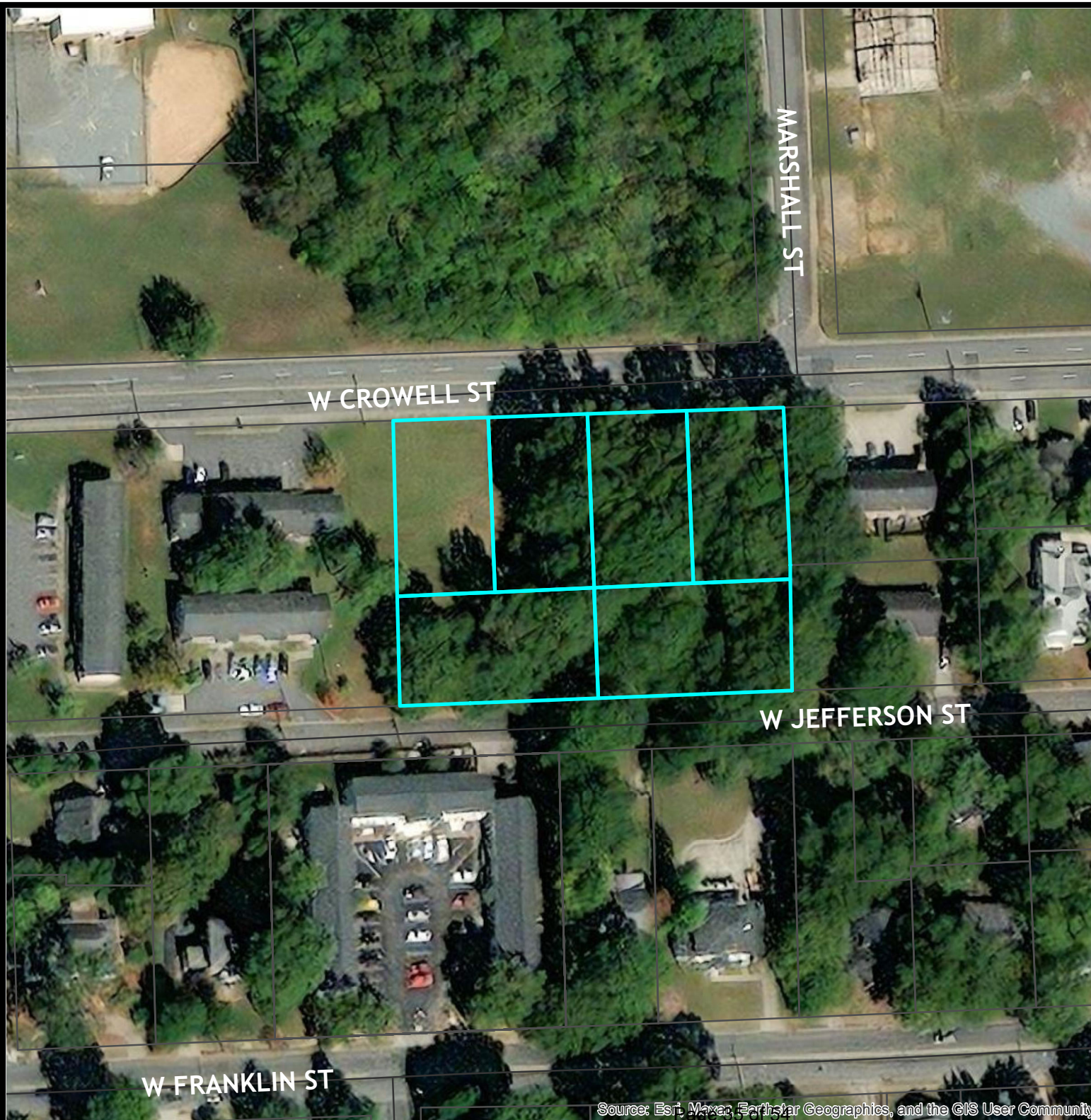
**Existing: RMD**  
(Residential Medium Density)

**Owner: Pinnacle Homes  
USA, LLC**

**Acres: 1.52**



0 80 160  
Feet



## Zoning Map

### CD "Jefferson & Crowell"

#### Legend

— Centerlines

▭ Parcels

#### Zoning Districts

▭ GI

▭ RMD

**Existing: RMD**  
(Residential Medium Density)

**Owner: Pinnacle Homes  
USA, LLC**

**Acres: 1.52**



0 70 140  
Feet

**RESOLUTION DENYING LAND USE ANDTRANSPORTATION  
PLAN COMPLIANCE  
CONDITIONAL DISTRICT “JEFFERSON & CROWELL”  
R-2022-XX**

**WHEREAS**, in accordance with the provisions of North Carolina General Statute 160D-605, the Planning Board does hereby find and determine that the adoption of the zoning map amendment for Conditional District “*Jefferson & Crowell*” and further described below property is consistent with the adopted Land Use and Transportation Plan. The Land Use and Transportation Plan identifies this area as Traditional. Multi-Family, which includes townhomes, is listed as a priority use in this character area, and the proposed project is for the development of townhomes. The traditional character area states the density for residential is 4-10 units per acre. This development is 9.88 units per acre; therefore, it is consistent. However, the proposed development is not a reasonable use or in the public interest because this project is proposing approximately double the amount of housing permitted if individual houses were constructed on the existing six lots. The increase in units could cause an adverse impact to the surrounding property values or cause an increase in surrounding traffic counts. Based on this information, the conditions have changed which justify amending the Land Development Plan. As a result of this zoning map amendment request recommendation for denial, the Land Development Plan would be amended to reflect the land use modification.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Board of the City of Monroe recommends adoption of the Resolution Denying Land Use and Transportation Plan Compliance for property with Union County Tax Parcel Number(s): 09-273-004A, 09-273-004B, 09-273-004C, 09-273-004D, 09-273-004E, 09-273-004F.

Adopted this 7<sup>th</sup> day of September, 2022

---

Richard A. Yercheck, Planning Board Chair

Attest:

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Ashlyn Penegar, Secretary to Planning Board



## Ortho Map

CD "Regent Pines - 2022"

### Legend

- Centerlines
- Parcels

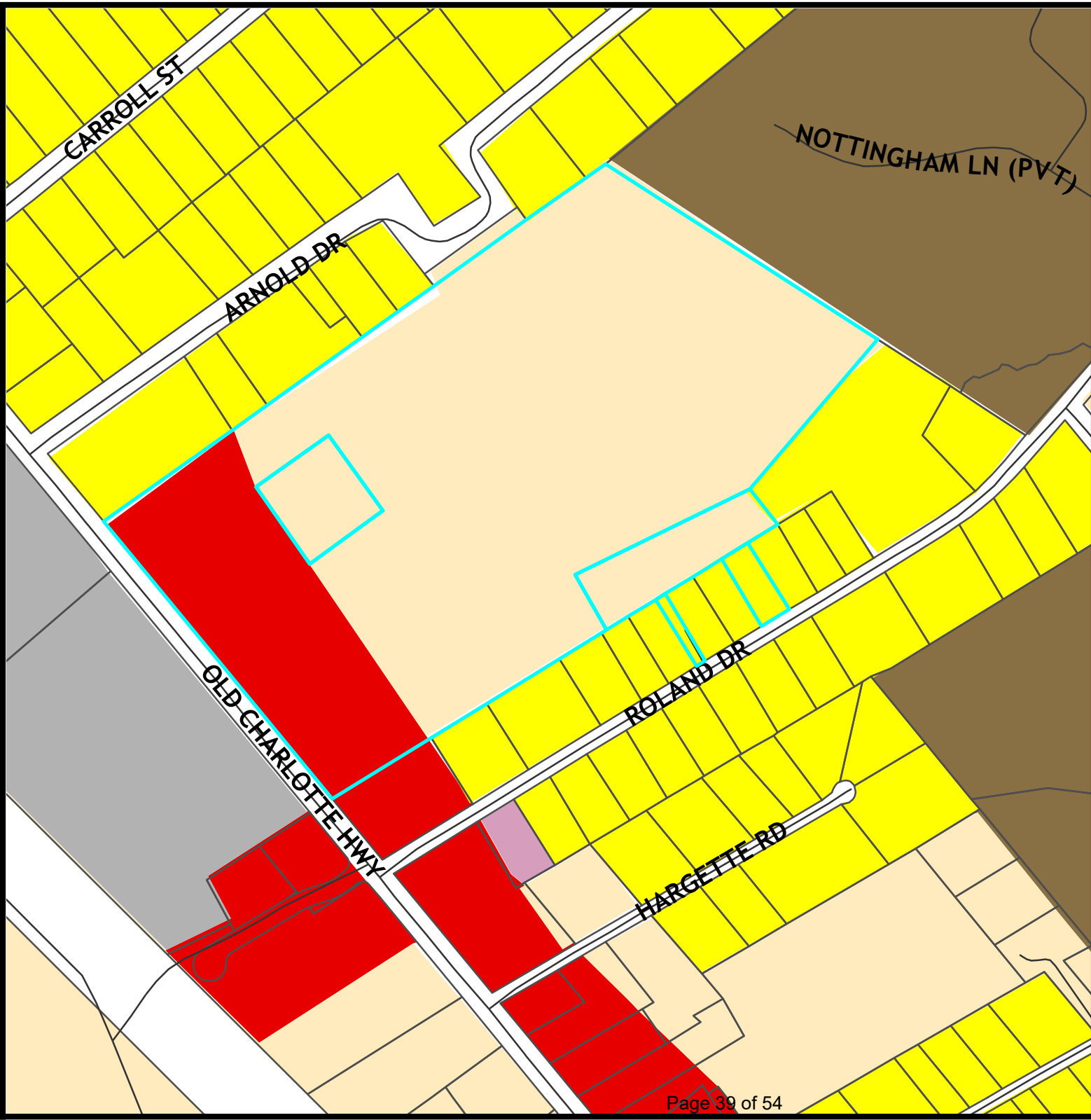
Existing: NB, RMD, & RLD  
(Business and Residential)

Owner: Love Rentals, LLC

Acres: 30.03



0 290 580 Feet



## Zoning Map

### CD "Regent Pines-2022"

#### Legend

- Centerlines
- Parcels

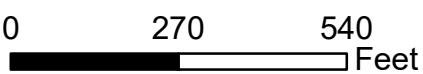
#### Zoning Districts

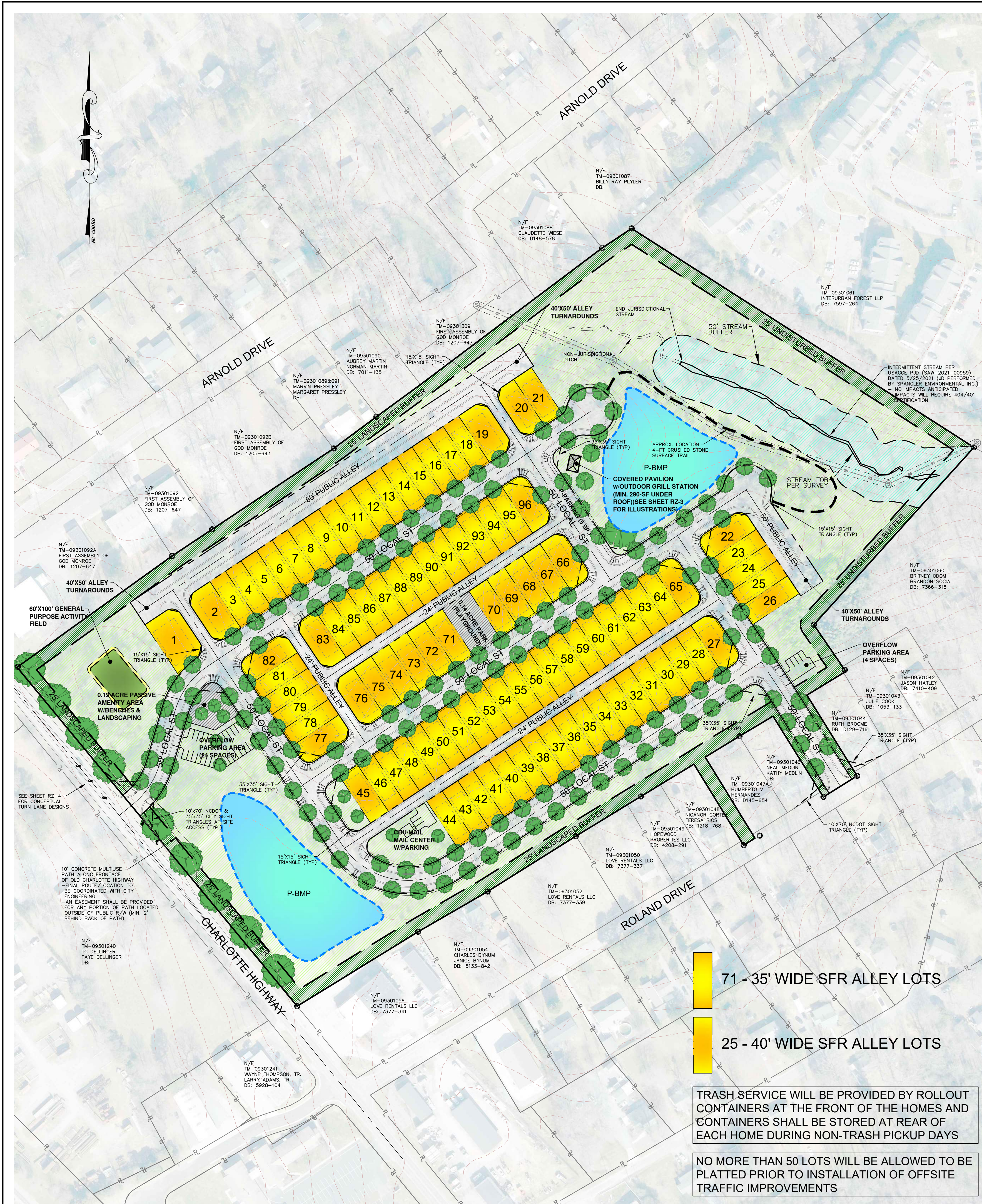
- CD
- GI
- NB
- RHD
- RLD
- RMD

Existing: RMD, RLD, NB  
(Residential & Business)

Owner: Love Rentals, LLC

Acres: 30.03





DEVELOPER & PROPERTY OWNER INFORMATION:

DEVELOPER: CHARLOTTE LAND GROUP, LLC  
11535 CARMEL COMMONS BLVD #101  
CHARLOTTE, NORTH CAROLINA 28226  
ATTN: SHAWN SANTEE

PROPERTY OWNER: LOVE RENTALS, LLC  
2675 OLD CHARLOTTE HIGHWAY  
MONROE, NORTH CAROLINA 28110

TAX PARCELS: 09301059, 09301059A, 09301060A, 09301047  
09301045

SITE ACREAGE: 30.03 ACRES±

DENSITY: 3.20 UNITS/ACRE (96 UNITS/30.03 AC.)

CURRENT ZONING: GB & R-20

PROP. ZONING: CONDITIONAL DISTRICT "REGENT PINES - 2022"



VICINITY MAP - N.T.S.

CITY OF MONROE STANDARD NOTES & CONDITIONS

- 1.0 PROPOSED REZONING FROM GB/R-20 TO CONDITIONAL DISTRICT "REGENT PINES - 2022".
- 2.0 SETBACKS AND YARDS SHALL BE AS FOLLOWS:  
REAR LOAD SINGLE FAMILY LOTS: FRONT/CORNERS-15 FT, INTERIOR SIDES-5 FT, REAR-20 FT  
BUILDINGS (STRUCTURES) IN OPEN SPACE/AMENITY AREAS SHALL BE SET 10' FROM R/W AND RESIDENTIAL LOT LINES
- 3.0 SETBACKS FOR ACCESSORY STRUCTURES SHALL BE MIN. OF FIVE (5) FEET FROM ALL PROPERTY LINES AND CANNOT BE LOCATED BEYOND THE FRONT MOST CORNER OF THE PRIMARY STRUCTURE (HOME).
- 4.0 ALL ROADS AND ALLEYS WILL BE PUBLIC STREETS AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MONROE STANDARDS.
- 5.0 PROPOSED ROADS WILL BE PUBLIC, SUBJECT TO CITY OF MONROE'S ACCEPTANCE POLICIES AND PROCEDURES.
- 6.0 FIVE (5) FOOT WIDE SIDEWALKS WILL BE REQUIRED ON BOTH SIDES OF ALL INTERIOR DEVELOPMENT STREETS.
- 7.0 STREET SIDEWALKS SHALL BE CONSTRUCTED WITH EACH HOME ALONG ALL STREET FRONTAGES (FRONT & CORNER YARDS).
- 8.0 ALL DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ALLEY TO THE GARAGE AND SHALL ACCOMMODATE A MINIMUM OF TWO (2) VEHICLES OUTSIDE OF THE GARAGE FOR EACH DWELLING UNIT. DRIVEWAYS SHALL BE MIN. 16'-FEET WIDE.
- 9.0 NO PORTION OF A DRIVEWAY MAY BE LOCATED WITHIN A SIGHT TRIANGLE EASEMENT.
- 10.0 STREET TREES (IN DESIGNATED PLANTING STRIP - SEE STREET CROSS SECTION DETAILS) SHALL BE PLANTED AT AN AVERAGE OF 50'-FEET ON-CENTER ALONG BOTH SIDES OF ALL PUBLIC ROADS (ALONG ALL LOT FRONTAGES AND COMMON AREA FRONTAGE). SEE DETAIL ON SHEET RZ-2 FOR LOT SPECIFIC TREE REQUIREMENTS (IN ADDITION TO STREET TREES)  
THERE SHALL BE NO TREES LOCATED WITHIN SIGHT DISTANCE TRIANGLES FOR SAFETY PURPOSES.  
STREET TREES SHALL BE MINIMUM OF 3.0-INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GRADE AND SHOULD BE A VARIETY OF SPECIES. STREET TREES ADJACENT TO LOTS TO BE PLANTED DURING HOME CONSTRUCTION.
- 11.0 ALL NEW TREES SHALL BE SUITABLE FOR HEALTHY GROWTH FOR THE AREA CLIMATE. ONE (1) FRONT YARD TREES SHALL BE PLANTED PER LOT AND BE MIN. OF 1-1/2 INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GRADE.
- 12.0 ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
- 13.0 HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF OPEN SPACE, COMMON AREAS, BMPs, ETC. HOA WILL ALSO BE RESPONSIBLE FOR ENFORCING THE PROHIBITION ON OVERNIGHT PARKING IN REGENT PINES (A RESTRICTION TO BE ADDED IN THE GOVERNING DOCUMENTS FOR REGENT PINES), AS WELL AS A LIMITATION IN THE NUMBER OF RENTALS IN REGENT PINES TO 10-PERCENT (10%) OF TOTAL UNITS (SAID RESTRICTION TO BE ADDED IN THE GOVERNING DOCUMENTS FOR REGENT PINES).
- 14.0 SIGN REGULATIONS FOR THIS DEVELOPMENT SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
- 15.0 ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN; MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING DIRECTOR OR CITY DESIGNEE.
- 16.0 EXISTING TREES WITHIN THE DEVELOPMENT THAT ARE SEVENTY-FIVE (75) INCHES OR GREATER IN CIRCUMFERENCE MUST BE PRESERVED AND SHALL NOT BE REMOVED. QUALIFYING TREES SHALL BE LOCATED AND SHOWN ON THE CONSTRUCTION DRAWINGS. GRAND TREES MAY BE REMOVED FOR PUBLIC INFRASTRUCTURE CONSTRUCTION (ROADS, WATER SEWER), BUT MUST BE MITIGATED AT A RATE OF 4-3" TREES PER TREE REMOVED.
- 17.0 EXISTING TREES WITHIN THE DEVELOPMENT THAT ARE TWENTY-FIVE (25) INCHES OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, UTILITY CONSTRUCTION, OR OTHER APPROVED CONSTRUCTION LIMITS.
- 18.0 PETITIONER VOLUNTARILY AGREES TO ALL CONDITIONS APPROVED BY CITY COUNCIL, WHICH ARE LISTED ON THIS CONDITIONAL DISTRICT PLAN AND SUPPORTING DOCUMENTS.

COMMUNITY ARCHITECTURAL STANDARDS - RESIDENTIAL STANDARDS

- 1.0 MINIMUM LOT SIZE FOR REAR LOAD SINGLE FAMILY LOTS WILL BE 3,674 SQ.FT. (AVERAGE LOT SIZE = 3,929 SQ.FT.±).
- 2.0 MINIMUM HEATED SQUARE FOOTAGE FOR DETACHED SINGLE FAMILY UNITS = 1,500 SQ.FT.
- 3.0 EXTERIOR BUILDING MATERIALS MAY INCLUDE BRICK, STONE, FIBER CEMENT (HARDIE BOARD OR EQUIVALENT), AND STUCCO. VINYL AND EIFS WILL ONLY BE PERMITTED AS TRIM, EAVES, SOFFITS, AND WINDOWS.
- 4.0 FOR HOUSES BUILT ON SLAB FOUNDATIONS, THE FRONT AND SIDES OF EACH DWELLING UNIT SHALL BE PROVIDED WITH A BRICK OR STONE WATER TABLE THAT EXTENDS AT LEAST EIGHTEEN (18) INCHES ABOVE GRADE.  
EXPOSED FOUNDATION WALLS SHALL BE TREATED WITH NO BARE/RAW CONCRETE EXPOSED. TREATMENTS MAY INCLUDE BRICK, STONE OR COLORED PARGING. VENEERS MAY BE USED IN LIEU OF STANDARD BRICK OR STONE.
- 5.0 ALL EXPOSED (EXTERIOR OF HOME) CHIMNEYS SHALL BE STUCCO OR BRICK VENEERED CONSISTENT WITH THE ARCHITECTURE OF THE HOME.
- 6.0 FRONT ELEVATION OF ALL RESIDENTIAL UNITS SHALL CONSIST OF A MINIMUM OF 25% BRICK, STONE, OR LIKE MATERIAL.
- 7.0 THE MAJORITY OF ALL ROOF AREAS ON ANY HOME SHALL HAVE A MINIMUM OF 6/12 ROOF PITCH. SECONDARY ROOF FEATURES SUCH AS PORCH ROOFS MAY BE 4/12 ROOF PITCH.
- 8.0 ALL REAR LOAD SINGLE FAMILY HOMES SHALL HAVE A TWO (2) CAR GARAGE.
- 9.0 FRONT LAWNS OF ALL DWELLING UNITS SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. COMMON AREAS MAY BE SEEDED.
- 10.0 AMENITY CONSTRUCTION SHALL BEGIN NO LATER THAN 50% OF THE CERTIFICATES OF OCCUPANCY BEING ISSUED.
- 11.0 THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF ONE (1) FOOT IN DEPTH.  
THE ADDITION OF MASONRY SIDING (BRICK OR STONE) ON SIDES OF THE HOUSE THAT MAY CAUSE WIDTH TO EXCEED 24'-FT SHALL BE EXEMPTED FROM THIS REQUIREMENT.

LANDSCAPED BUFFERS MAY BE DISTURBED AND REPLANTED WITH A MIXTURE OF EVERGREEN AND DECIDUOUS TREES. BUFFERS DESIGNATED AS UNDISTURBED SHALL BE LEFT NATURAL.

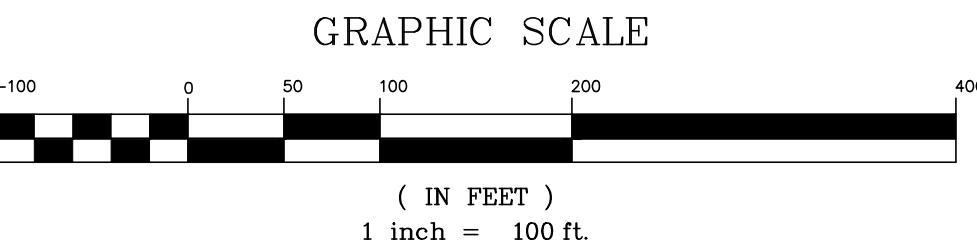
SEE SHEET RZ-3 FOR SAMPLE HOUSING ELEVATIONS

OPEN SPACE CALCULATIONS:

|                          |                       |
|--------------------------|-----------------------|
| 25' PERIMETER BUFFER     | - 2.73 ACRES          |
| 50' STREAM BUFFER        | - 1.48 ACRES          |
| DESIGNATED AMENITY AREAS | - 0.27 ACRES          |
| UNSPECIFIED COMMON AREAS | - 9.59 ACRES          |
| TOTAL OPEN SPACE         | - 14.07 ACRES (46.9%) |

LOT DIMENSIONAL STANDARDS:

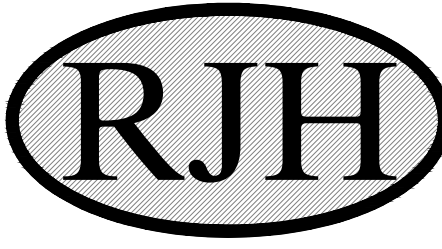
|                    |                            |
|--------------------|----------------------------|
| MIN. LOT WIDTH     | - 35 FT. AT FRONT SETBACK  |
| MIN. LOT SIZE      | - 3,674 SQ.FT.             |
| FRONT SETBACK      | - 15 FT.                   |
| CORNER SIDE YARD   | - 15 FT. (INCLUDES ALLEYS) |
| INTERIOR SIDE YARD | - 5 FT.                    |
| REAR YARD          | - 20 FT.                   |
| LOT SIZE RANGES    | - 3,674 SF - 7,021 SF      |



| DATE     | ISSUED FOR                                         | REV |
|----------|----------------------------------------------------|-----|
| 12/23/21 | Submittal to City                                  | 0   |
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| 8/24/22  | Add 40' Lots, Play Area & Additional Parking       | 6   |



Engineer:



R. Joe Harris & Associates, Inc.

Engineering • Land Surveying • Planning  
Landscape Architecture • Management

1186 Stonewall Boulevard, Fort Mill, S.C. 29708 P: (803) 802-1799

www.rjoharris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal Engineer's Seal

REZONING DOCUMENT  
NOT FOR CONSTRUCTION

|                    |              |
|--------------------|--------------|
| Project Manager    | Drawn        |
| -                  | B. Pridemore |
| Department Manager | Checked      |
| -                  | -            |
| Print/Plot Date    |              |

August 24, 2022

Client

CHARLOTTE LAND GROUP, LLC  
11535 Carmel Commons Boulevard  
Suite #101  
Charlotte, North Carolina 28226  
P: 704-400-4282

Project:

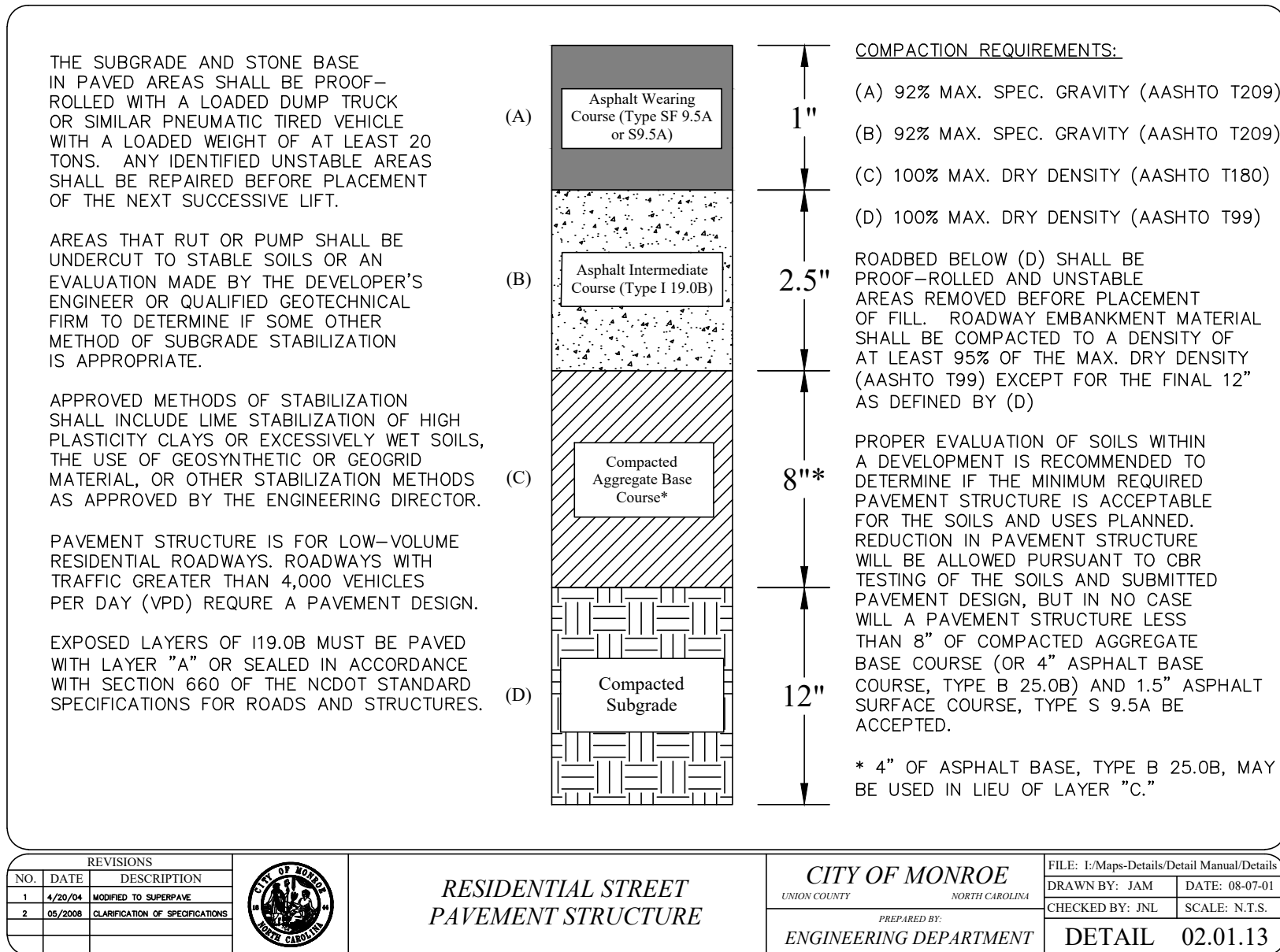
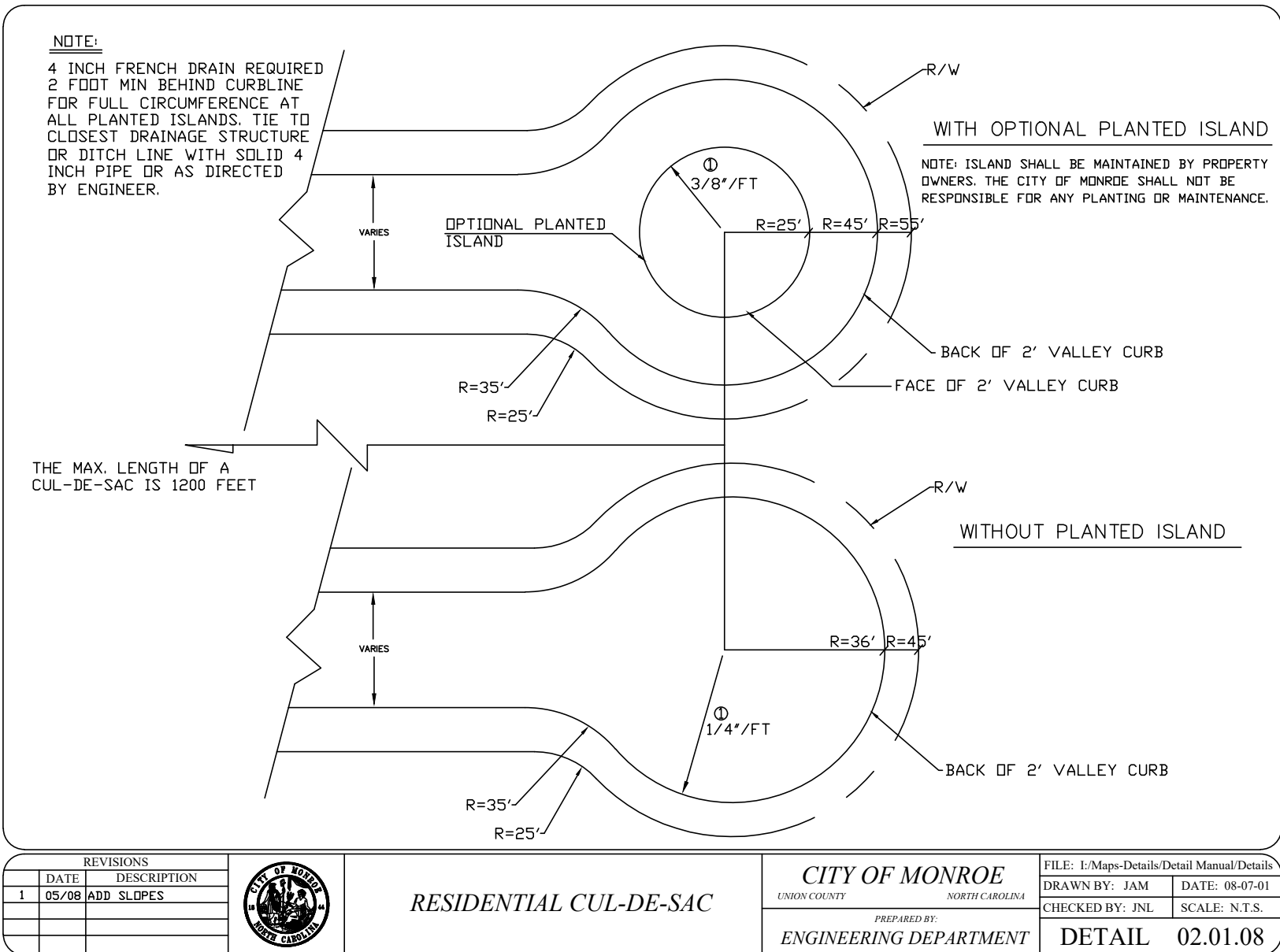
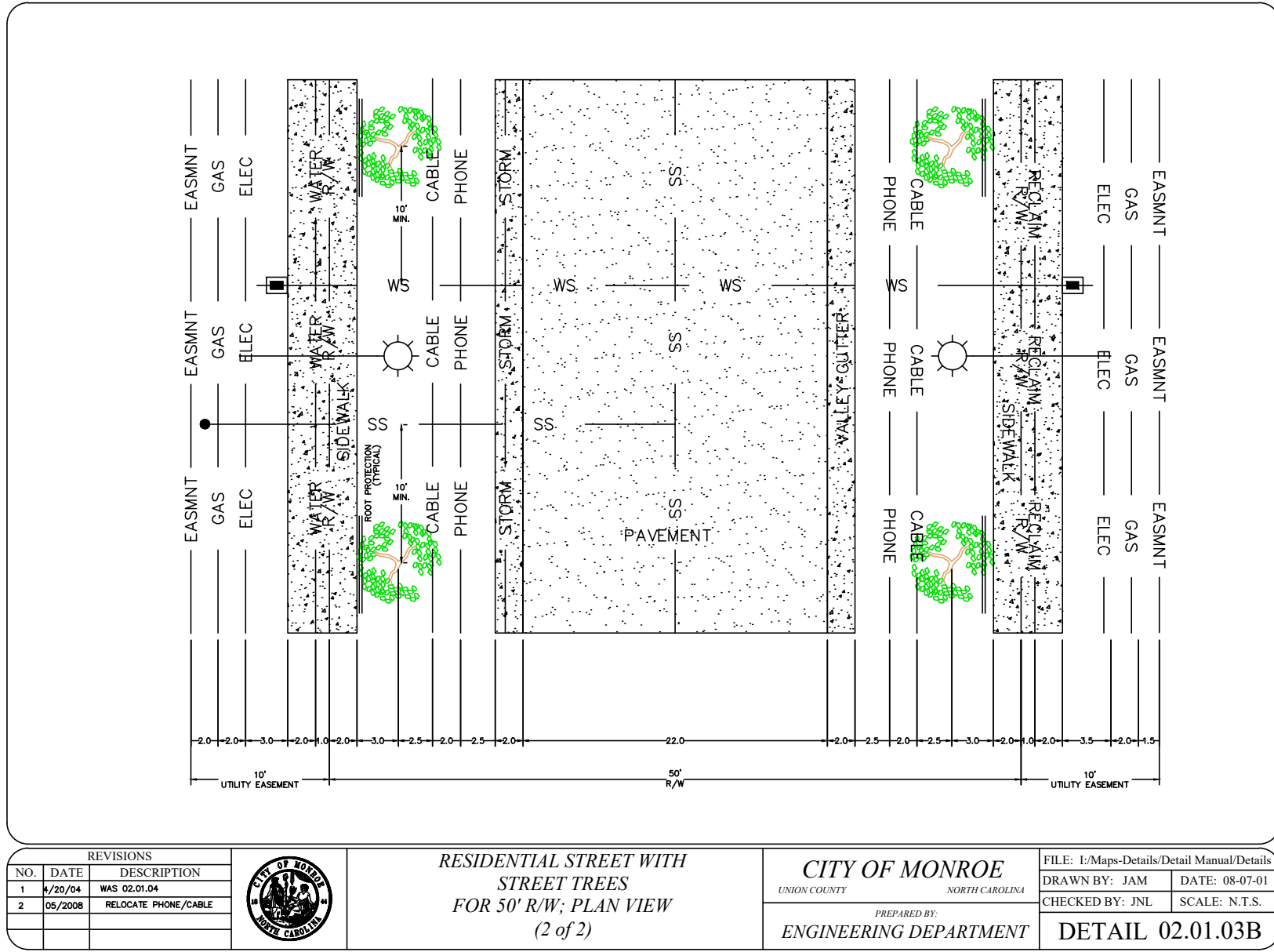
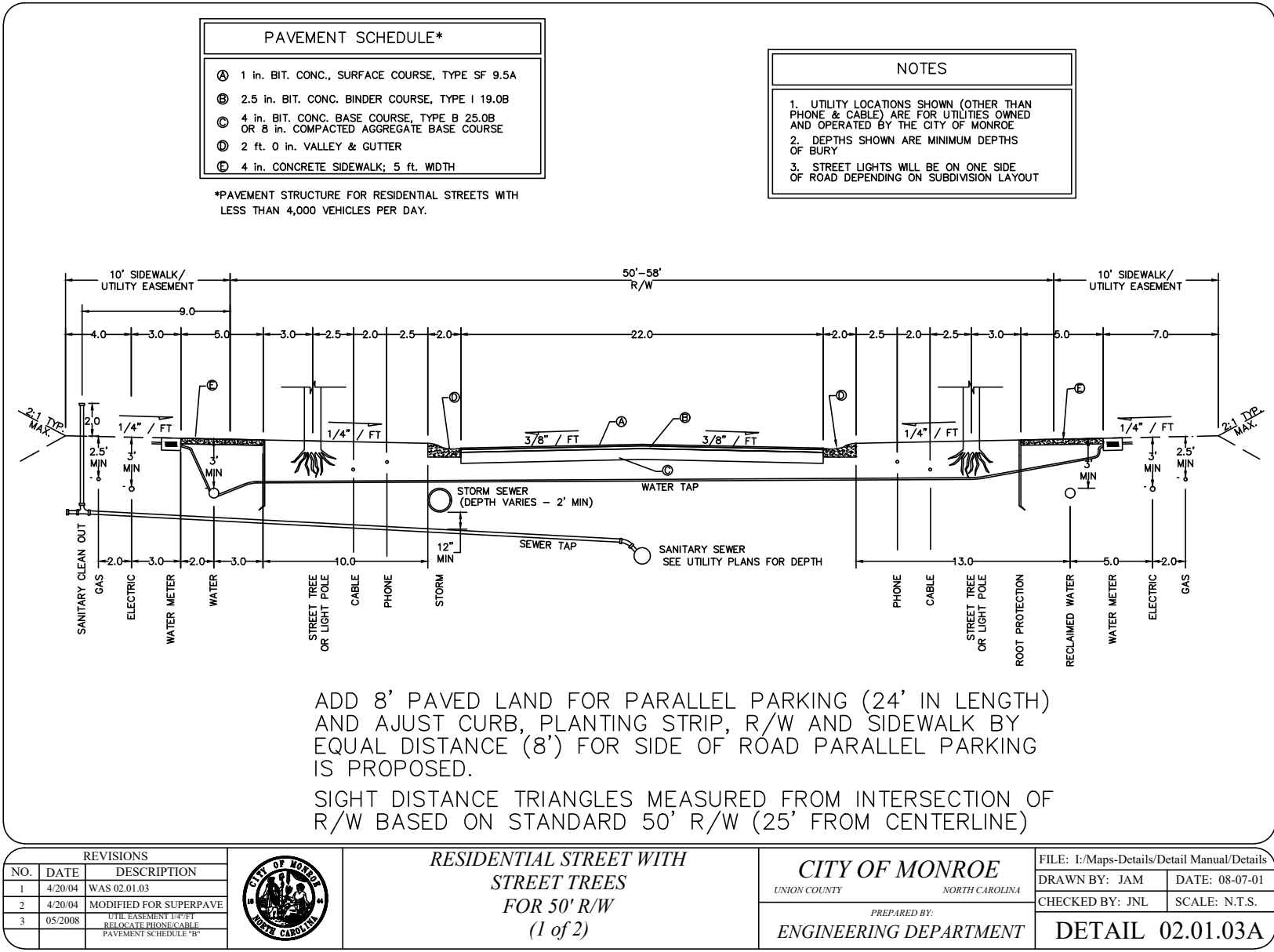
Conditional District  
"REGENT PINES-2022"

Drawing Title:

REZONING PLAN  
Master Overall Plan

|                              |             |
|------------------------------|-------------|
| Project No.                  | Drawing No. |
| 4654                         |             |
| DWG File Name:               |             |
| 4654-Regent Pines C Rezoning |             |
| Rev 1.5                      |             |

RZ-1



| LOT SIZE CHART (NOMINAL LOT SIZE -- MIN. REQUIRED LOT WIDTH) |             |           |     |             |           |     |             |           |     |             |           |
|--------------------------------------------------------------|-------------|-----------|-----|-------------|-----------|-----|-------------|-----------|-----|-------------|-----------|
| NO.                                                          | WIDTH (FT.) | AREA (SF) | NO. | WIDTH (FT.) | AREA (SF) | NO. | WIDTH (FT.) | AREA (SF) | NO. | WIDTH (FT.) | AREA (SF) |
| 1                                                            | 67          | 7021      | 31  | 35          | 3675      | 61  | 35          | 3675      | 91  | 35          | 3675      |
| 2                                                            | 55          | 5603      | 32  | 35          | 3675      | 62  | 35          | 3675      | 92  | 35          | 3675      |
| 3                                                            | 35          | 3675      | 33  | 35          | 3675      | 63  | 35          | 3675      | 93  | 35          | 3675      |
| 4                                                            | 35          | 3675      | 34  | 35          | 3675      | 64  | 35          | 3675      | 94  | 35          | 3675      |
| 5                                                            | 35          | 3675      | 35  | 35          | 3675      | 65  | 47          | 4763      | 95  | 35          | 3675      |
| 6                                                            | 35          | 3675      | 36  | 35          | 3675      | 66  | 48          | 4868      | 96  | 48          | 4868      |
| 7                                                            | 35          | 3675      | 37  | 35          | 3675      | 67  | 40          | 4200      |     |             |           |
| 8                                                            | 35          | 3675      | 38  | 35          | 3675      | 68  | 40          | 4200      |     |             |           |
| 9                                                            | 35          | 3675      | 39  | 35          | 3675      | 69  | 40          | 4200      |     |             |           |
| 10                                                           | 35          | 3675      | 40  | 35          | 3675      | 70  | 40          | 4200      |     |             |           |
| 11                                                           | 35          | 3675      | 41  | 35          | 3675      | 71  | 40          | 4200      |     |             |           |
| 12                                                           | 35          | 3675      | 42  | 35          | 3675      | 72  | 40          | 4200      |     |             |           |
| 13                                                           | 35          | 3675      | 43  | 35          | 3675      | 73  | 40          | 4200      |     |             |           |
| 14                                                           | 35          | 3675      | 44  | 35          | 3675      | 74  | 40          | 4200      |     |             |           |
| 15                                                           | 35          | 3675      | 45  | 40          | 4200      | 75  | 40          | 4200      |     |             |           |
| 16                                                           | 35          | 3675      | 46  | 35          | 3675      | 76  | 47          | 4763      |     |             |           |
| 17                                                           | 35          | 3675      | 47  | 35          | 3675      | 77  | 47          | 4763      |     |             |           |
| 18                                                           | 35          | 3675      | 48  | 35          | 3675      | 78  | 35          | 3675      |     |             |           |
| 19                                                           | 55          | 5603      | 49  | 35          | 3675      | 79  | 35          | 3675      |     |             |           |
| 20                                                           | 45          | 4553      | 50  | 35          | 3675      | 80  | 35          | 3675      |     |             |           |
| 21                                                           | 35          | 3674      | 51  | 35          | 3675      | 81  | 35          | 3675      |     |             |           |
| 22                                                           | 47          | 4761      | 52  | 35          | 3675      | 82  | 47          | 4763      |     |             |           |
| 23                                                           | 35          | 3675      | 53  | 35          | 3675      | 83  | 47          | 4763      |     |             |           |
| 24                                                           | 35          | 3675      | 54  | 35          | 3675      | 84  | 35          | 3675      |     |             |           |
| 25                                                           | 35          | 3675      | 55  | 35          | 3675      | 85  | 35          | 3675      |     |             |           |
| 26                                                           | 40          | 4200      | 56  | 35          | 3675      | 86  | 35          | 3675      |     |             |           |
| 27                                                           | 47          | 4763      | 57  | 35          | 3675      | 87  | 35          | 3675      |     |             |           |
| 28                                                           | 35          | 3675      | 58  | 35          | 3675      | 88  | 35          | 3675      |     |             |           |
| 29                                                           | 35          | 3675      | 59  | 35          | 3675      | 89  | 35          | 3675      |     |             |           |
| 30                                                           | 35          | 3675      | 60  | 35          | 3675      | 90  | 35          | 3675      |     |             |           |

CONDITIONAL NOTES & STANDARDS

GENERAL CONDITIONS:

1.0 CONDITIONAL DISTRICT "REGENT PINES -- 2022" IS HEREBY SUBMITTED FOR APPROVAL SUBJECT TO THE SPECIFIC TERMS AND CONDITIONS NOTED HEREON THE REZONING PLAN.

2.0 MAX. ALLOWED DENSITY SHALL BE 96 SINGLE FAMILY DETACHED DWELLINGS (ALLEY LOAD).

3.0 ANY TECHNICAL ISSUES NOT ADDRESSED WITHIN THE REZONING MASTER PLAN SHALL BE SUBJECT TO THE CURRENT CONSTRUCTION DOCUMENT APPROVAL PROCESS IN PLACE AT TIME OF SUBMITTAL AND MUST COMPLY WITH THE CITY'S SUBDIVISION AND LAND DEVELOPMENT STANDARDS (LATEST EDITION).

4.0 FUTURE AMENDMENTS TO THIS REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS AND CONDITIONS) MAY BE APPLIED FOR BY THE OWNER AT THE TIME OF AMENDMENT PETITION (MASTER DEVELOPER).

5.0 UPON APPROVAL OF THIS REZONING PETITION AND CONDITIONAL DISTRICT PLAN, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INSURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.

6.0 THE SCHEMATIC DEPICTIONS OF THE LOTS, STREETS, SIDEWALKS AND OTHER SITE ELEMENTS SET FORTH IN THE CONDITIONAL DISTRICT REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE ULTIMATE LAYOUT (FINAL), LOCATIONS, AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS AND SUBJECT TO MINOR ADJUSTMENTS. THEY MAY BE ALTERED IN ACCORDANCE WITH THE SETBACKS, YARDS AND BUFFER REQUIREMENTS SET FORTH IN THIS REZONING PLAN AND THE DEVELOPMENT STANDARDS, PROVIDED ANY SUCH ALTERATIONS AND MODIFICATIONS DO NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THIS CONDITIONAL DISTRICT REZONING PLAN (PLANNING STAFF MAY GRANT ADMINISTRATIVE APPROVAL OF MINOR CHANGES).

7.0 DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THIS CONDITIONAL DISTRICT REZONING PLAN AND THE DEVELOPMENT STANDARDS ESTABLISHED HEREIN AND COLLECTIVELY REFERRED TO AS THE "REZONING PLAN", AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF MONROE ZONING ORDINANCE (THE "ORDINANCE").

8.0 THE CONDITIONS AND STANDARDS DENOTED ON THIS REZONING PLAN SHALL TAKE PRECEDENT WHEN IN CONFLICT WITH THE CITY'S APPROVED ORDINANCES AND STANDARDS.

PLANNING & ZONING:

1.0 CLUSTER MAILBOXES SHALL PROVIDED AND SUBJECT TO THE LATEST UNITED STATES POSTAL SERVICE (USPS) CLUSTER MAILBOX GUIDELINES. THE LOCATION OF MAILBOX CLUSTER SHALL BE COORDINATED WITH AND APPROVED BY THE USPS POSTMASTER AND CITY OF MONROE ENGINEERING DEPARTMENT.

2.0 LOT LINES SHALL BE SUBJECT TO THE LATEST CITY OF MONROE LAND DEVELOPMENT DESIGN GUIDELINES AND ORDINANCE.

3.0 THE PETITIONER, HEIRS AND ASSIGNS AGREES TO SUBMIT A LANDSCAPE PLAN AND LIGHTING PLAN WITH THE CONSTRUCTION DOCUMENTS. ALL STREET TREES SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) AND/OR HOMEOWNERS ASSOCIATION (HOA), AS APPLICABLE. THE CITY OF MONROE WILL ASSUME NO MAINTENANCE RESPONSIBILITIES FOR TREES THAT ARE PLACED WITHIN THE STREET RIGHTS-OF-WAY.

4.0 SIGNAGE WITHIN THE DEVELOPMENT SHALL MEET THE REQUIREMENTS OF THE ORDINANCE.

5.0 NEW HOMES WILL MEET THE THE ARCHITECTURAL STANDARDS SET FORTH IN THIS PETITION. REFER TO THE SPECIFIC ARCHITECTURAL CONDITIONS AND STANDARDS OUTLINED ON SHEET RZ-1.

6.0 DEVELOPMENT MAY BE APPROVED AND CONSTRUCTED IN PHASES AND SHALL BE SPECIFIED WITHIN THE APPROVED CONSTRUCTION DRAWINGS.

FIRE SAFETY:

1.0 THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF MONROE FIRE DEPARTMENT'S FIRE MARSHAL APPROVAL AND THE 2012 NORTH CAROLINA FIRE CODE.

ENGINEERING -- ROADWAYS & STORMWATER:

1.0 ALL PROPOSED PUBLIC STREETS WILL BE SUBJECT TO THE CITY OF MONROE'S TYPICAL RESIDENTIAL STREET STANDARDS. SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL NON-ALLEY STREETS AND MAY BE CONSTRUCTED WITH EACH HOME.

2.0 STREET LAYOUTS MAY BE MODIFIED TO ACCOMMODATE FINAL SITE LAYOUTS AND DEVELOPMENT PLANS WITHIN THE DEVELOPMENT AREA BOUNDARIES TO THE EXTENT PERMITTED BY THE ORDINANCE.

3.0 SIGHT TRIANGLES SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL (DETAIL 02.01.10) AND NO PORTION OF A DRIVEWAY CAN BE LOCATED WITHIN A SIGHT TRIANGLE.

4.0 MINIMUM CENTERLINE RADII AS FOLLOWS:

150-FT FOR PUBLIC ROADS

150-FT FOR PUBLIC ALLEYS

ENGINEERING -- WATER RESOURCES (WATER & SEWER):

1.0 PROPOSED GRAVITY SEWER AND POTABLE WATER MAIN SYSTEMS SHALL BE DEDICATED TO THE CITY OF MONROE FOR OWNERSHIP AND MAINTENANCE UPON COMPLETION AND APPROVAL.

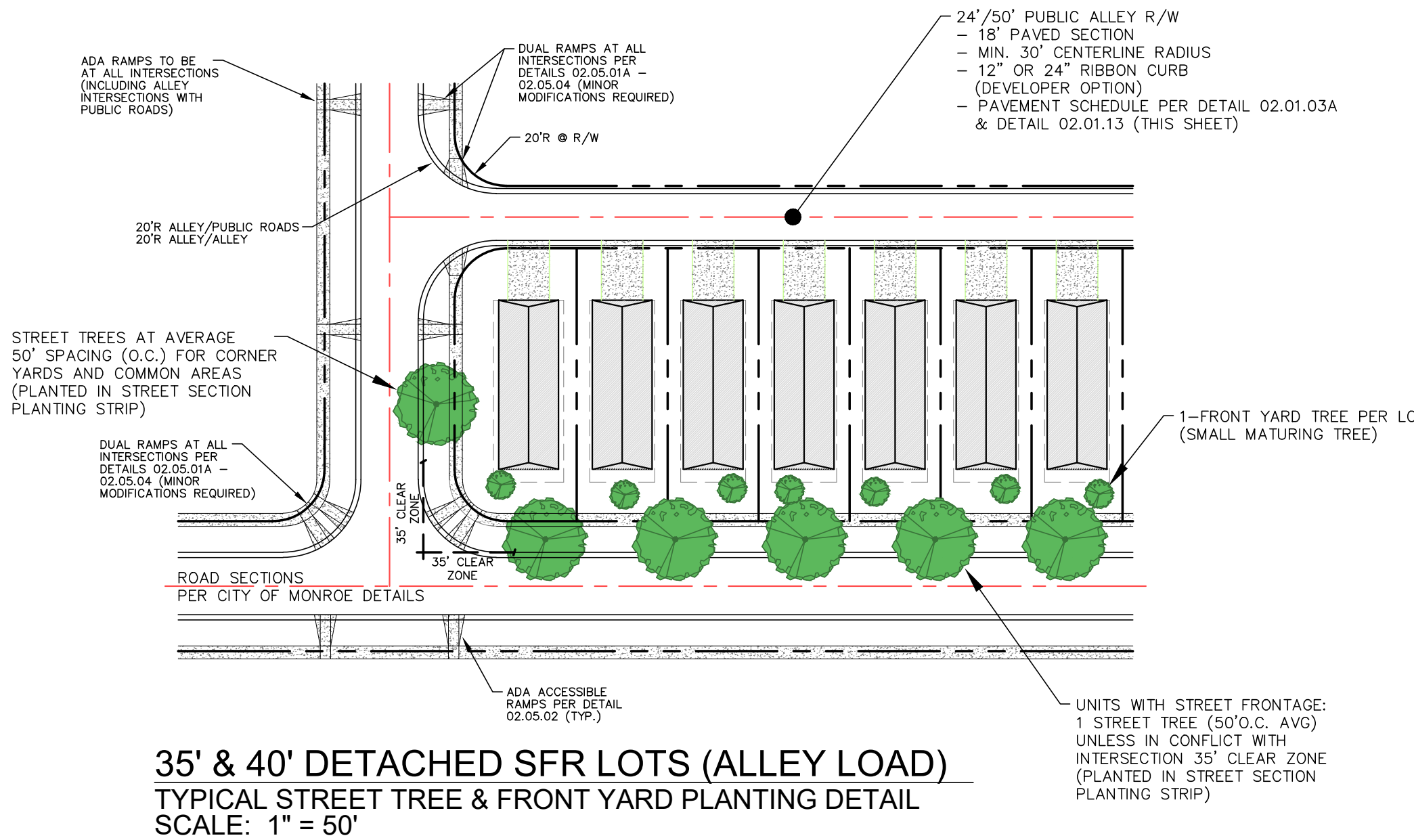
ENVIRONMENTAL:

1.0 DEVELOPER WILL BE SOLELY RESPONSIBLE FOR ANY IMPACTS TO JURISDICTIONAL STREAMS AND/OR WETLANDS AND COPIES OF SUCH PERMITS SHALL BE PROVIDED TO THE CITY OF MONROE.

2.0 404/401 CERTIFICATIONS, AS APPLICABLE, MAY BE OBTAINED IN PHASES AS ALLOWED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) AND NORTH CAROLINA DIVISION OF WATER RESOURCES (NCDWR).

TRANSPORTATION:

1.0 TIA WILL NOT BE REQUIRED PER CONFIRMATION WITH NCDOT AND CITY OF MONROE ENGINEERING DEPARTMENT, BUT LEFT-TURN LANE AND RIGHT-TURN LANE WILL BE REQUIRED ONTO SITE ACCESS ALONG CHARLOTTE HIGHWAY.



DATE ISSUED FOR REV

12/23/21 Submittal to City 0

2/22/22 Address City Staff Comments 1

4/06/22 Address City Staff Comments - 99 Lots 2

5/04/22 Address Minor Engineering Comments 3

8/03/22 Add GP Activity Field & Overflow Parking 4

8/16/22 Add Grill Station & Specify 4" Stone Surface Trail 5

8/24/22 Add 40' Lots, Play Area & Additional Parking 6

**NORTH CAROLINA 811**

Know what's below. Call before you dig.

Engineer:

**RJH**

**R. Joe Harris & Associates, Inc.**

Engineering • Land Surveying • Planning Landscape Architecture • Management

1186 Stonerock Boulevard, Fort Mill, S.C. 29708 P: (803) 802-1799

www.rjoharris.com

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Corporate Seal Engineer's Seal

**REZONING DOCUMENT**

**NOT FOR CONSTRUCTION**

Project Manager Drawn

- B. Pridemore

Department Manager Checked

-

Print/Plot Date

August 24, 2022

Client

**CHARLOTTE LAND GROUP, LLC**

11535 Carmel Commons Boulevard

Suite #101

Charlotte, North Carolina 28226

P: 704-400-4282

Project:

**Conditional District "REGENT PINES-2022"**

Drawing Title:

**REZONING PLAN**

**Additional Notes & Details**

Project No. Drawing No.

4654

DWG File Name:

4654-Regent Pines C Rezoning

Rev 1.5

**RZ-2**

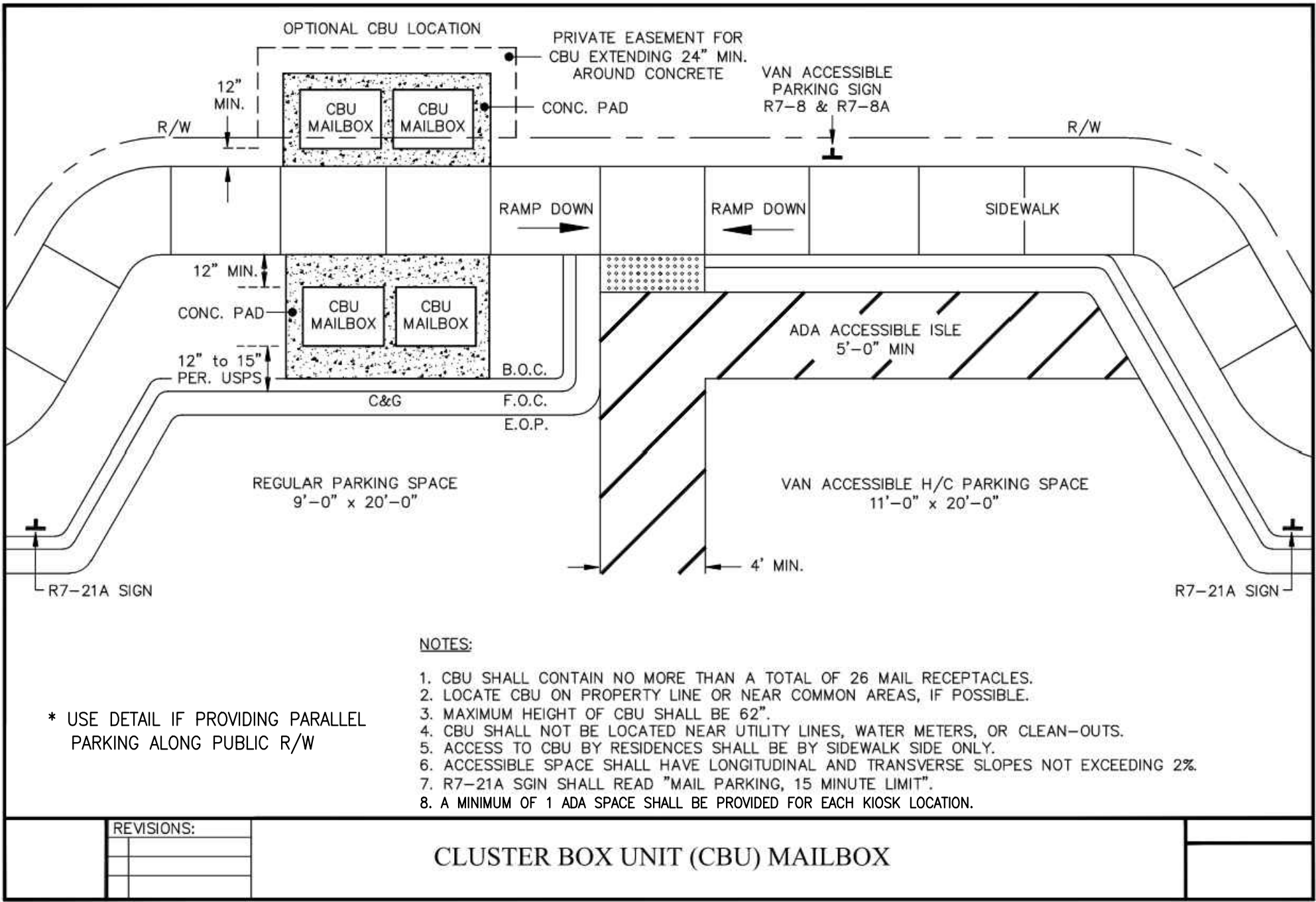
OUTDOOR GRILL STATION:



SAMPLE REAR ELEVATION:



SAMPLE ILLUSTRATION IS PROVIDED FOR GENERAL REFERENCE ONLY AND BUILT PRODUCT(S) MAY VARY SO LONG AS THEY ARE CONSISTENT WITH SAMPLE



- NOTES:
1. CBU SHALL CONTAIN NO MORE THAN A TOTAL OF 26 MAIL RECEPTACLES.
  2. LOCATE CBU ON PROPERTY LINE OR NEAR COMMON AREAS, IF POSSIBLE.
  3. MAXIMUM HEIGHT OF CBU SHALL BE 62\"/>

CLUSTER BOX UNIT (CBU) MAILBOX

COVERED PAVILION:



SAMPLE FRONT ELEVATIONS:



SAMPLE ELEVATIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY AND BUILT PRODUCT(S) MAY VARY SO LONG AS THEY ARE CONSISTENT WITH SAMPLES.

| DATE     | ISSUED FOR                                         | REV |
|----------|----------------------------------------------------|-----|
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Engineer:

**RJH**

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Engineering • Land Surveying • Planning  
Landscape Architecture • Management

1186 Stonecrest Boulevard, Fort Mill, S.C. 29708 P: (803) 802-1799

[www.rjoe Harris.com](http://www.rjoe Harris.com)

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Corporate Seal Engineer's Seal

**REZONING DOCUMENT  
NOT FOR CONSTRUCTION**

|                                                                                                    |              |
|----------------------------------------------------------------------------------------------------|--------------|
| Project Manager                                                                                    | Drawn        |
| -                                                                                                  | B. Pridemore |
| Department Manager                                                                                 | Checked      |
| -                                                                                                  | -            |
| Print/Plot Date                                                                                    |              |
| August 24, 2022                                                                                    |              |
| Client                                                                                             |              |
| CHARLOTTE LAND GROUP, LLC                                                                          |              |
| 11535 Carmel Commons Boulevard<br>Suite #101<br>Charlotte, North Carolina 28226<br>P: 704-400-4282 |              |
| Project:                                                                                           |              |
| Conditional District<br>"REGENT PINES-2022"                                                        |              |
| Drawing Title:                                                                                     |              |
| REZONING PLAN<br>CBU Detail & Sample<br>Elevations                                                 |              |
| Project No.                                                                                        | Drawing No.  |
| 4654                                                                                               | RZ-3         |
| DWG File Name:                                                                                     |              |
| 4654-Regent Pines C Rezoning<br>Rev 1.5                                                            |              |



| DATE     | ISSUED FOR                                         | REV |
|----------|----------------------------------------------------|-----|
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Engineer:

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Landscape Architecture • Management

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[www.rjoe-harris.com](http://www.rjoe-harris.com)

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|                |                 |
|----------------|-----------------|
| Corporate Seal | Engineer's Seal |
|----------------|-----------------|

**REZONING DOCUMENT  
NOT FOR CONSTRUCTION**

|                                                                                                                                 |                     |
|---------------------------------------------------------------------------------------------------------------------------------|---------------------|
| Project Manager                                                                                                                 | Drawn               |
| -                                                                                                                               | <b>B. Pridemore</b> |
| Department Manager                                                                                                              | Checked             |
| -                                                                                                                               | -                   |
| Print/Plot Date                                                                                                                 |                     |
| August 24, 2022                                                                                                                 |                     |
| Client                                                                                                                          |                     |
| CHARLOTTE LAND GROUP, LLC<br>11535 Carmel Commons Boulevard<br>Suite #101<br>Charlotte, North Carolina 28226<br>P: 704-400-4282 |                     |
| Project:                                                                                                                        |                     |
| Conditional District<br>"REGENT PINES-2022"                                                                                     |                     |
| Drawing Title:                                                                                                                  |                     |
| REZONING PLAN<br>Conceptual Turn Lane<br>Improvements @ Charlotte<br>Highway                                                    |                     |
| Project No.                                                                                                                     | Drawing No.         |
| 4654                                                                                                                            | RZ-4                |
| DWG File Name:                                                                                                                  |                     |
| 4654-Regent Pines C Rezoning<br>Rev 1.5                                                                                         |                     |

## Future Land Use Plan

CD "Regent Pines - 2022"

### Legend

 Parcels

**Future Land Use Character Area**

 Suburban

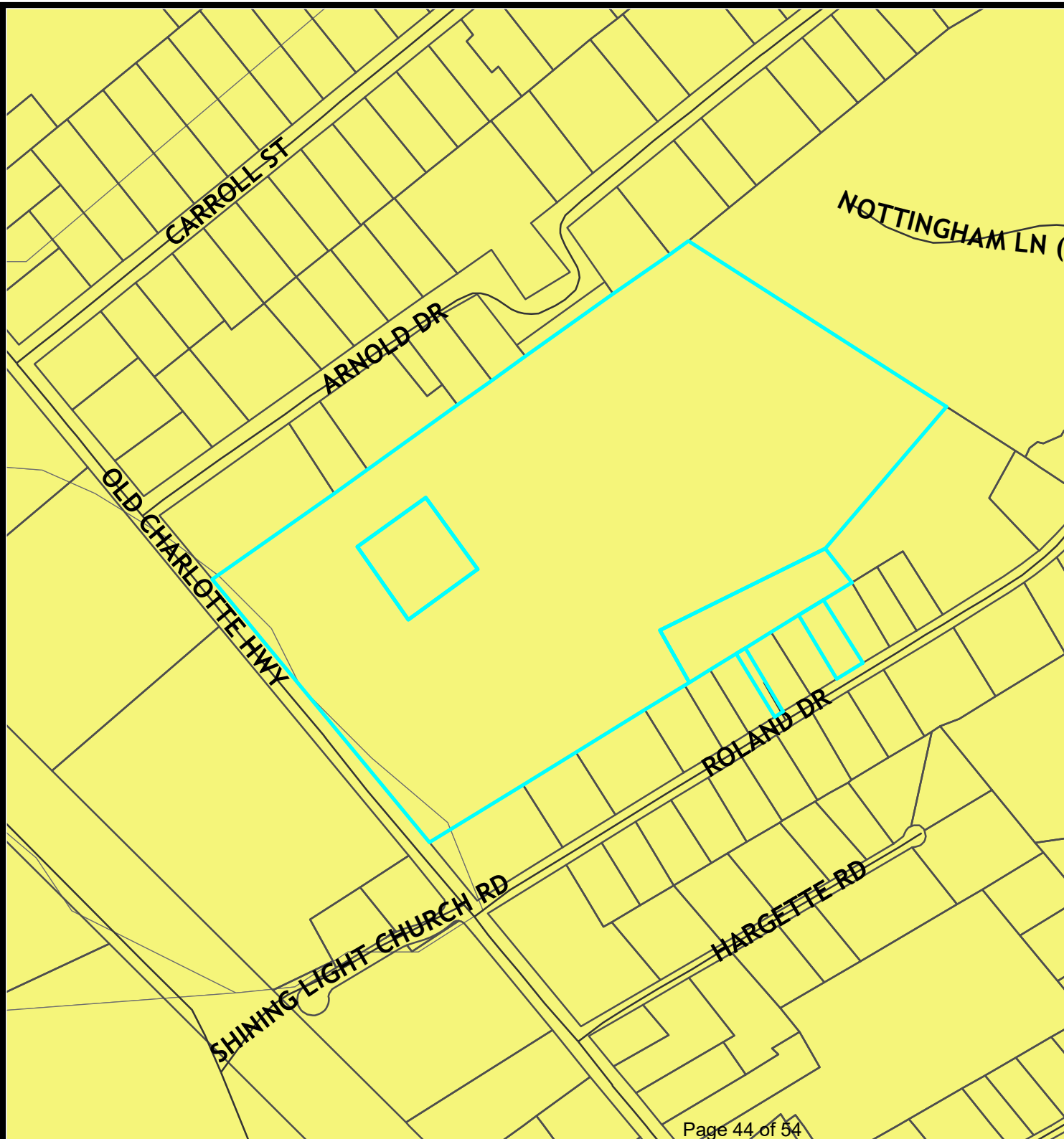
**Existing: NB, RMD, & RLD  
(Business and Residential)**

**Owner: Love Rentals, LLC**

**Acres: 30.03**



0 290 580  
 Feet



## **Land Use and Transportation Plan**

The Land Use and Transportation Plan indicates this area is Suburban. While residential uses typically take the form of neighborhoods with uniform housing types and densities, a mix of housing types and lot sizes is preferred in Suburban locations. Multimodal connectivity between neighborhoods and to nearby centers also should be emphasized. Strategic connections to the off-street multi-use trail network are preferred and open space should be preserved in both active and passive forms within neighborhoods. The density for suburban residential is 2-4 units per acre.

**RESOLUTION APPROVING LAND USE AND TRANSPORTATION PLAN  
COMPLIANCE  
CONDITIONAL DISTRICT “REGENT PINES - 2022”  
R-2022-XX**

**WHEREAS**, in accordance with the provisions of North Carolina General Statute 160D-605, the Planning Board does hereby find and determine that the adoption of the zoning map amendment for Conditional District “REGENT PINES – 2022” and further described below property is consistent with the adopted Land Use and Transportation Plan. The Land Use and Transportation Plan identifies this area as Suburban. Single-family uses are listed as a priority use in this character area, and the proposed project is for the development of single-family homes. The suburban character area states the density for residential is 2-4 units per acre. This development is 3.3 units per acre; therefore, it is consistent. The project is reasonable and in the public interest because it will provide additional housing options closer to the city core versus on the outskirts creating sprawl.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Board of the City of Monroe recommends adoption of the Resolution Approving Land Use and Transportation Plan Compliance for property with Union County Tax Parcel Number(s): 09-301-059, 09-301-059A, 09-301-060A, 09-301-045, and 09-301-047.

Adopted this 7<sup>th</sup> day of September, 2022

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Richard A. Yercheck, Planning Board Chair

Attest:

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Ashlyn Penegar, Secretary to Planning Board

**RESOLUTION DENYING LAND USE AND TRANSPORTATION PLAN  
COMPLIANCE  
CONDITIONAL DISTRICT “*REGENT PINES - 2022*”  
R-2022-XX**

**WHEREAS**, in accordance with the provisions of North Carolina General Statute 160D-605, the Planning Board does hereby find and determine that the adoption of the zoning map amendment for Conditional District “*REGENT PINES – 2022*” and further described below property is consistent with the adopted Land Use and Transportation Plan. The Land Use and Transportation Plan identifies this area as Suburban. Single-family uses are listed as a priority use in this character area, and the proposed project is for single-family homes. The suburban character area states the density for residential is 2-4 units per acre. This development is 3.3 units per acre; therefore, it is consistent. However, the proposed development is not a reasonable use or in the public interest because this project is along a heavily traveled corridor and additional traffic could strain existing traffic concerns. Based on this information, the conditions have changed which justify amending the Land Development Plan. As a result of this zoning map amendment request recommendation for denial, the Land Development Plan would be amended to reflect the land use modification.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Board of the City of Monroe recommends adoption of the Resolution Denying Land Use and Transportation Plan Compliance for property with Union County Tax Parcel Number(s): 09-301-059, 09-301-059A, 09-301-060A, 09-301-045, and 09-301-047.

Adopted this 7<sup>th</sup> day of September, 2022

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Richard A. Yercheck, Planning Board Chair

Attest:

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Ashlyn Penegar, Secretary to Planning Board

**ORDINANCE TO AMEND CITY OF MONROE CODE OF ORDINANCES**  
**TITLE XV: LAND USES**  
**CHAPTER 157: ZONING CODE**  
**O-2022-XX**

**Preamble**

Pursuant to authority conferred by Chapter 160D-701 of the North Carolina General Statutes, as amended and for the purpose of promoting the health, safety, morals, or general welfare of the inhabitants of the City by lessening congestion in and around the streets; securing safety; preventing the overcrowding of land; avoiding undue congestion; and facilitating the adequate provision of transportation,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE THAT TITLE XV, CHAPTER 157 ZONING CODE OF THE CITY OF MONROE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:**

**Section 1.** Amend §157.1.2.1 **OFFICIAL ZONING MAP** as follows:

Rezone the properties located along Charlotte Highway further identified with parcel ID numbers 09-301-059, 09-301-059A, 09-301-060A, 09-301-045, and 09-301-047 from NB (Neighborhood Business), RMD (Residential Medium Density), and RLD (Residential Low Density) to Conditional District (CD) “Regent Pines-2022”

**Section 2.** This Ordinance shall be effective upon adoption.

Adopted this 11<sup>th</sup> day of October, 2022

Attest:

\_\_\_\_\_  
Marion L. Holloway Jr., Mayor

\_\_\_\_\_  
Bridgette H. Robinson, City Clerk

**ORDINANCE TO AMEND CITY OF MONROE CODE OF ORDINANCES  
TITLE XV: LAND USES  
CHAPTER 157: ZONING CODE  
O-2022-XX**

**Preamble**

**Pursuant to authority conferred by Chapter 160D-701 of the North Carolina General Statutes, as amended and for the purpose of promoting the health, safety, morals, or general welfare of the inhabitants of the City by lessening congestion in and around the streets; securing safety; preventing the overcrowding of land; avoiding undue congestion; and facilitating the adequate provision of transportation,**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE THAT TITLE XV, CHAPTER 157 ZONING CODE OF THE CITY OF MONROE CODE OF ORDINANCES BE AMENDED AS FOLLOWS:**

**Section 1.** Amend §157.1.3.1 ZONING DISTRICTS ESTABLISHED as follows:

Conditional District (CD) “Regent Pines-2022”

**Section 2.** This Ordinance shall be effective upon adoption.

Adopted this 11<sup>th</sup> day of October, 2022

Attest:

\_\_\_\_\_  
Marion L. Holloway Jr., Mayor

\_\_\_\_\_  
Bridgette H. Robinson, City Clerk



## STAFF REPORT

**TO:** Planning Board Members

**DATE:** September 7, 2022

**FROM:** Lisa Stiwinter, Planning and Development Director

**PREPARED BY:** Keri Mendler, Senior Planner

**SUBJECT:** Zoning Map and Text Amendment request for Conditional District  
“Regent Pines - 2022”

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### SUMMARY STATEMENT

The Planning Board is requested to consider a zoning map and text amendment for the properties located along Old Charlotte Highway further identified as tax parcels: 09-301-059, 09-301-059A, 09-301-060A, 09-301-045, and 09-301-047. The request is to rezone the properties from NB (Neighborhood Business), RMD (Residential Medium Density), and RLD (Residential Low Density) to Conditional District “Regent Pines - 2022”.

This project came before Planning Board on July 13, 2022. Planning Board recommended approval of the Future Land Use and Transportation Plan Compliance resolution; however, due to a tie vote on the rezoning and text amendment the project moved forward without a recommendation. At the August 9, 2022 City Council meeting, the applicant requested to go back to Planning Board with modifications to the project. The applicant has site plan revisions to present to Planning Board for consideration.

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### REVIEW

The applicant, Old Charlotte Land Group, is requesting a Conditional District rezoning in order to develop 96 detached single-family homes. The total area of the project is 30.03 acres with 14 acres (46.9%) of open space. The site is currently zoned a mixture of Business and Residential. The properties can currently be developed for commercial uses on the front portion and residential uses on the rear portion.

## **AREA CHARACTERISTICS**

### Adjoining Land Uses and Zoning District

|              | <b>Existing Uses</b>                  | <b>Zoning District</b>                                     |
|--------------|---------------------------------------|------------------------------------------------------------|
| <b>North</b> | Residential & Church/School           | RLD (Residential Low Density)                              |
| <b>East</b>  | Nottingham Apartments                 | RHD (Residential High Density)                             |
| <b>South</b> | Residential & Office/Warehouse        | RLD (Residential Low Density) & NB (Neighborhood Business) |
| <b>West</b>  | Office/Warehouse (General Contractor) | GI (General Industrial)                                    |

## **REQUIREMENTS**

### **Proposal**

The applicant is requesting a Conditional District rezoning in order to develop 96 detached single-family homes. The total area of the project is 30.03 acres with 14 acres (46.9%) of open space.

### **Density & Dimensional Standards**

The density of this project is 3.2 units per acre. The minimum lot size for the homes is 3,674 square feet. The applicant has provided a mix of lot widths; 71- 35-foot wide lots and 25- 40-foot wide lots. The data below is simply to provide the board with information to compare the proposed density to what is allowed by the zoning ordinance in other residential districts in Monroe.

| Zoning District | Maximum Allowable Density                      |
|-----------------|------------------------------------------------|
| <b>RLD</b>      | 2 unit/acre                                    |
| <b>RMD</b>      | 3 units/acre by-right; 4 units/acre clustering |
| <b>RHD</b>      | 10 units/acre                                  |

The proposed minimum setbacks are as follows:

Front: 15-feet

Corner Side: 15-feet

Interior Side: 5-feet

Rear: 20-feet

### **Landscaping**

Street trees will be planted every 50-feet and will be 3-inches in caliper at time of planting. Front yard trees will be planted at a rate of one (1) tree per lot and will be 1 ½ inches in caliper at the time of planting. A 25-foot landscape buffer is also being proposed around the site.

### **Open Space**

The project is required to provide 12.5% open space, which would equal 3.75 acres. The applicant has provided approximately 14 acres, which is 46.9% of the total site. The open space also includes a covered pavilion with an outdoor grill station, a walking path, a playground area, and a general purpose activity field.

**Elevations**

The developer is proposing the exterior building materials to include fiber cement, stone, stucco, or brick. Vinyl and EFIS will only be utilized for trim, eaves, soffits, and windows. The minimum heated floor area of the homes is 1,500 square feet. The front façade will also include 25% brick or stone.

**Parking**

The applicant is proposing that all homes will have a two-car rear load garage, which will be accessed by alleyways. Each driveway will be able to accommodate at least two (2) vehicles. The revised site plan includes overflow parking areas throughout the site with a total of 33 parking spots and an additional three parking spots at the mailbox center.

**Sidewalk**

Five-foot wide sidewalks will be provided along both sides of all interior streets. Additionally, a ten-foot wide multi-use path will be installed along Old Charlotte Highway

**Stormwater**

The applicant will be required to provide stormwater management to treat the stormwater runoff for the project. The stormwater will be evaluated and reviewed, if the project is approved by City Council, at the building permit stage of the process. The location, size and type of storm water management systems depicted on the rezoning plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and actual site discharge points. At the time of site plan submittal, site will meet stormwater management requirements in accordance with Chapter 159 Stormwater Management Ordinance of the Monroe Code of Ordinances.

**Stream Buffer**

All blue line streams on the site have been provided with a 50-foot buffer on both sides as required by the ordinances.

**Transportation**

The project is located along Old Charlotte Highway, between Roland Drive and Arnold Drive. The project will be accessed by one entrance on Old Charlotte Highway and one entrance on Roland Drive. The North Carolina Department of Transportation and the City of Monroe did not require a traffic impact analysis for this project; however, the project is required to construct a right deceleration lane and a left turn lane into this development from Old Charlotte Highway.

**Schools**

The proposed 96-lot residential development will be within the following school attendance areas for the current school year:

|                        |                                 |
|------------------------|---------------------------------|
| Rocky River Elementary | Currently at 80% rated capacity |
| Monroe Middle          | Currently at 87% rated capacity |
| Monroe High            | Currently at 67% rated capacity |

The proposed project is not expected to adversely affect school enrollments.

### **LAND USE AND TRANSPORTATION PLAN CONSISTENCY**

The Land Use and Transportation Plan indicates this area is Suburban. While residential uses typically take the form of neighborhoods with uniform housing types and densities, a mix of housing types and lot sizes is preferred in Suburban locations. Attached and multi-family housing is suitable in mixed-housing neighborhoods and activity centers. Commercial development mostly serves the needs of nearby residents and often locates along corridors with higher traffic volumes and near prominent intersections. Emphasis should be placed on integrating the design of commercial centers with surrounding neighborhoods. Multimodal connectivity between neighborhoods and to nearby centers also should be emphasized. Strategic connections to the off-street multi-use trail network are preferred and open space should be preserved in both active and passive forms within neighborhoods.

Single-family uses are listed as a priority use in this character area. The density for suburban residential is 2-4 units per acre. The proposed project is consistent with the Future Land Use Plan.

### **PUBLIC NOTIFICATION**

1. The applicant sent a neighborhood notification letter to adjoining property owners on February 25, 2022. Staff does not recall receiving any phone calls from when these letters were mailed.
2. A rezoning notification sign has been posted on this site since July 29, 2022.
3. Official rezoning notification letters were sent on July 29, 2022.

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### **MODIFICATIONS SINCE JULY 13, 2022 PLANNING BOARD**

- Reduced number of lots to 96 (previously 99)
- Added an additional park interior to the development
- Added five parallel parking spaces across the street from Lots 66 & 96
- Added an overflow parking area with four parking spaces near Roland Dr.
- Added an overflow parking area with 24 parking spaces near the front of the site
- Added a covered pavilion with grill station in open space
- Added a 60'x100' general purpose field near the front of the site
- Provided additional lot sizes; now a mix of 35-feet and 40-feet wide lots.

### **RECOMMENDATION**

Staff recommends approval of the rezoning "Regent Pines - 2022".

**Planning Board will need to take action on the following items:**

- *Motion to recommend adoption of Resolution Approving Land Development Compliance*  
**OR**
- *Motion to recommend adoption of Resolution Denying Land Development Compliance*

**If the Resolution of Land Development Plan Compliance is recommended for approval, the Planning Board will also need to make the following motion:**

- *Motion to recommend adoption of the Ordinance amending section 157.1.2.1- Conditional Districts Established and section 157.1.3.1- Official Zoning Map.*

**If the Resolution of Land Development Plan Compliance is recommended for denial, the Planning Board will also need to make the following motion:**

- *Motion to recommend denial of the zoning map amendment*

Attachments:

1. Ortho Map
2. Zoning Map
3. Site Plan
4. Elevations
5. Future Land Use Map
6. Future Land Use Description
7. Approval Resolution
8. Denial Resolution
9. Ordinance 157.1.2.1
10. Ordinance 157.1.3.1